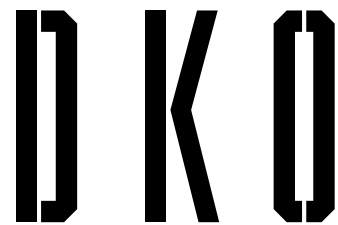
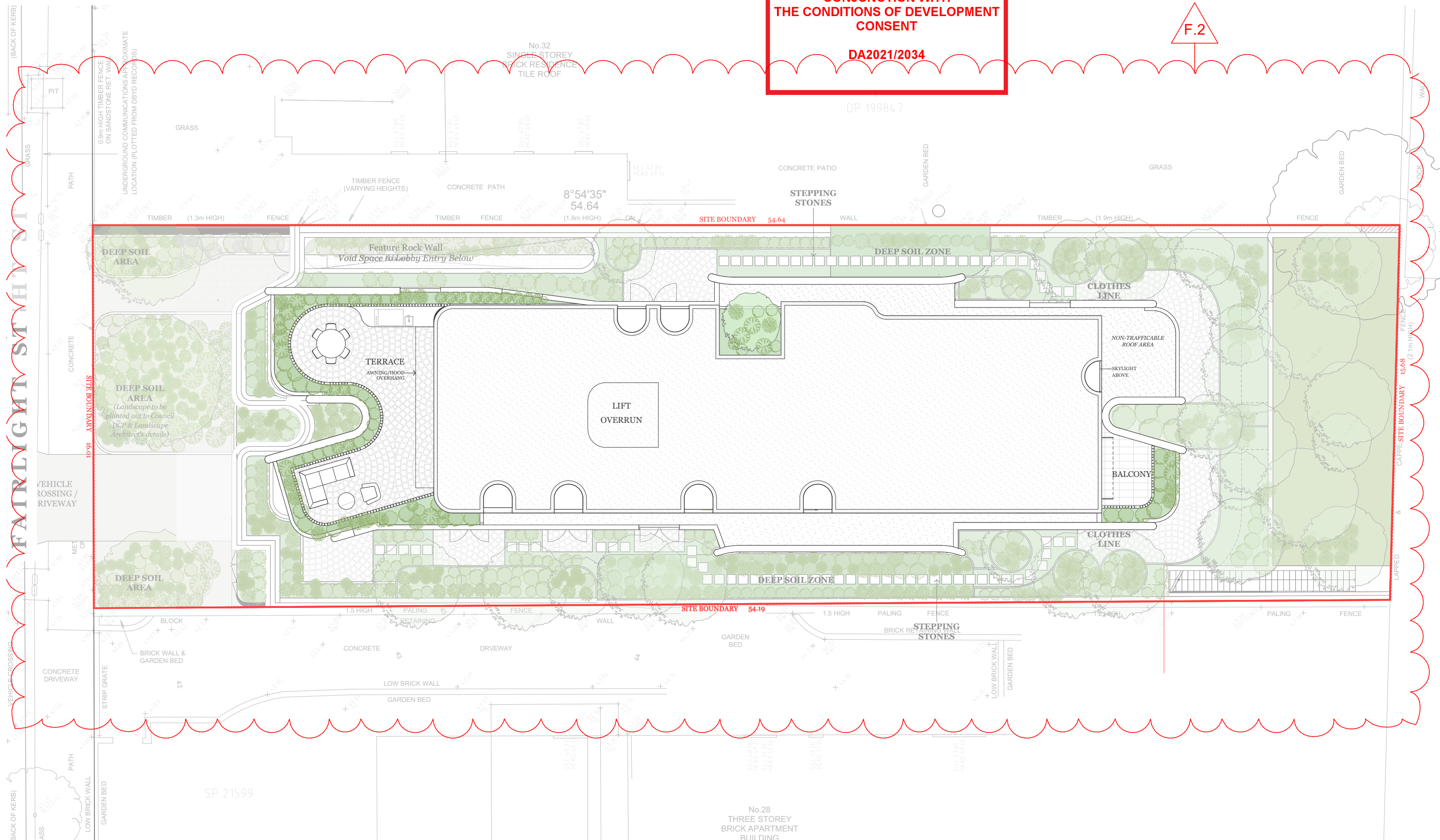




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DA2021/2034

F.2



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| F    | 8/09/2022 | MW | NB  | Court Amended Drawings |

Project Name  
Project Address

30 Fairlight St, Fairlight  
30 Fairlight St,  
Fairlight, NSW 2094

Project Number  
Drawing Name  
Scale  
Date

00012781  
Site Plan  
1:150 (A3)  
June 2021

Client

Adjani Pty Ltd

Drawing Number  
Revision

DA104  
F







DA2021/2034

No.32  
SINGLE STOREY  
BRICK RESIDENCE  
TILE ROOF

6570x6570 UNLINED ROC  
UNDERGROUND SEWER,  
PLOTTED FROM DBYD RE

1  
DP 199847

F.3

**EXCAVATION FOR BASEMENT PARKING**  
Refer to Basement Plan for Extent of Footprint

+RL 45.45  
+RL 42.00

### Legend



Proposed Areas of Excavation

— — — Proposed Structures & Trees for Demolition/Site Clearing

+45.51 Existing RL

**+42.00** Proposed RL

**NOTES:**

**DEMOLISH AND REMOVE FROM SITE:**  
ALL WALL, FLOOR, ROOF STRUCTURES, FOOTINGS, REDUNDANT  
PIPEWORK BELOW NATURAL GROUND LEVEL AND VEGETATION  
**DEMOLITION NOTES:**

**DEMOLITION NOTES:**

1. REFERENCE IS TO BE MADE TO SERVICE AUTHORITY PLANS PRIOR TO COMMENCEMENT OF DEMOLITION WORKS. THE POSITION OF UNDERGROUND SERVICES ARE TO BE VERIFIED ON SITE AND ABUTTING SITES AND VERIFIED WITH RELEVANT SERVICE AUTHORITIES.

2. IT REMAINS THE CONTRACTORS RESPONSIBILITY TO INSPECT AND DETERMINE THE FULL EXTENT OF DEMOLITION AND REMOVAL OF EXISTING MASONRY, RUBBLE AND SOIL FOR THE EXCAVATION

00012781  
Demolition & Excavati  
1:150 (A3)  
June 2021

Drawing Number **DA106**  
Revision **F**

# DKO

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| F    | 8/09/2022 | MW | NB  | Court Amended Drawings |

Project Name  
Project Address

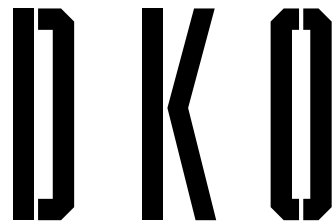
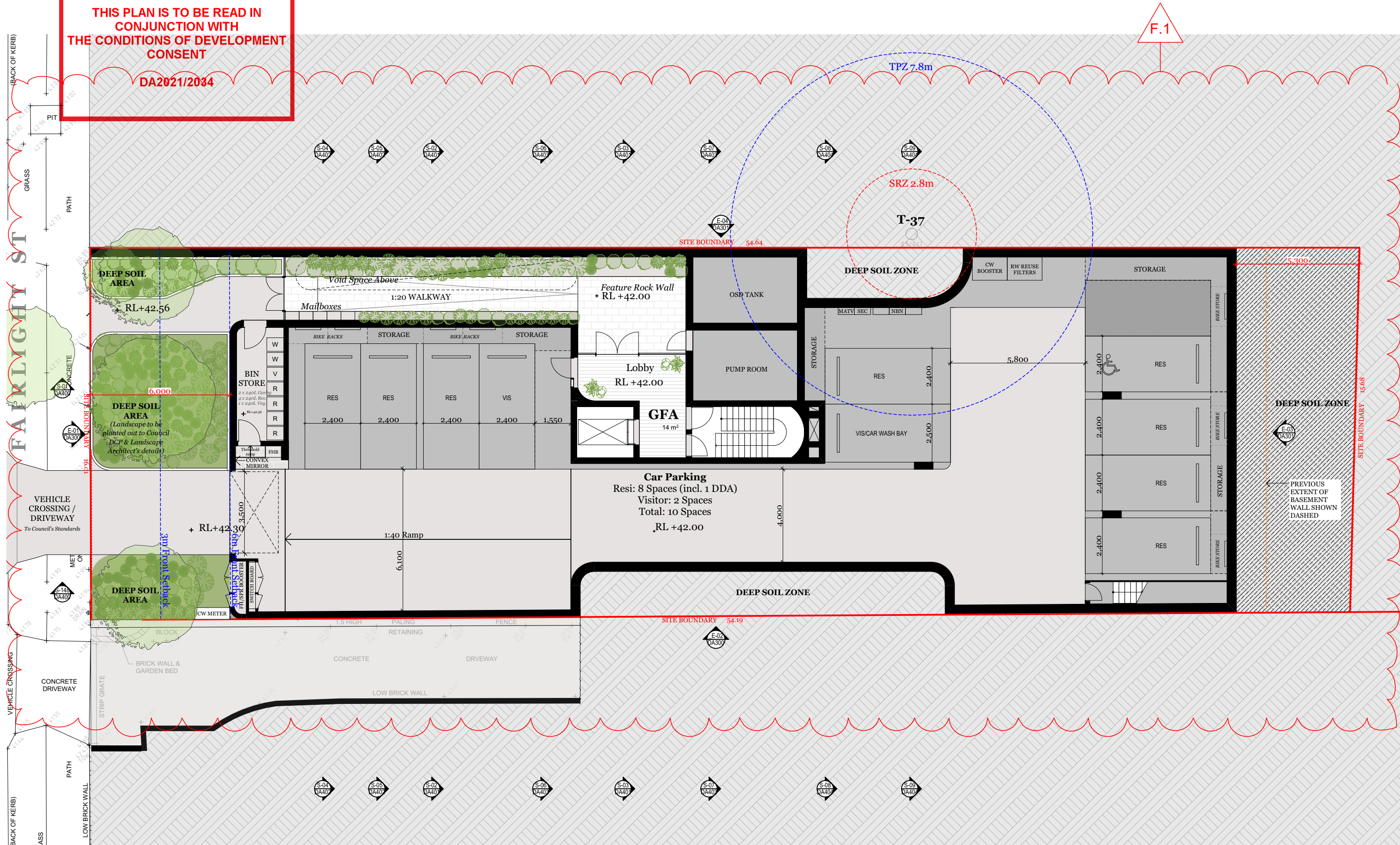
30 Fairlight St, Fairlight  
30 Fairlight St,  
Fairlight, NSW 2094

| Client

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| F    | 8/09/2022 | MW | NB  | Court Amended Drawings |

Project Name  
Project Address

30 Fairlight St, Fairlight  
30 Fairlight St,  
Fairlight, NSW 2094

Project Number  
Drawing Name  
Scale  
Date

00012781  
Basement Plan  
1:150 (A3)  
June 2021

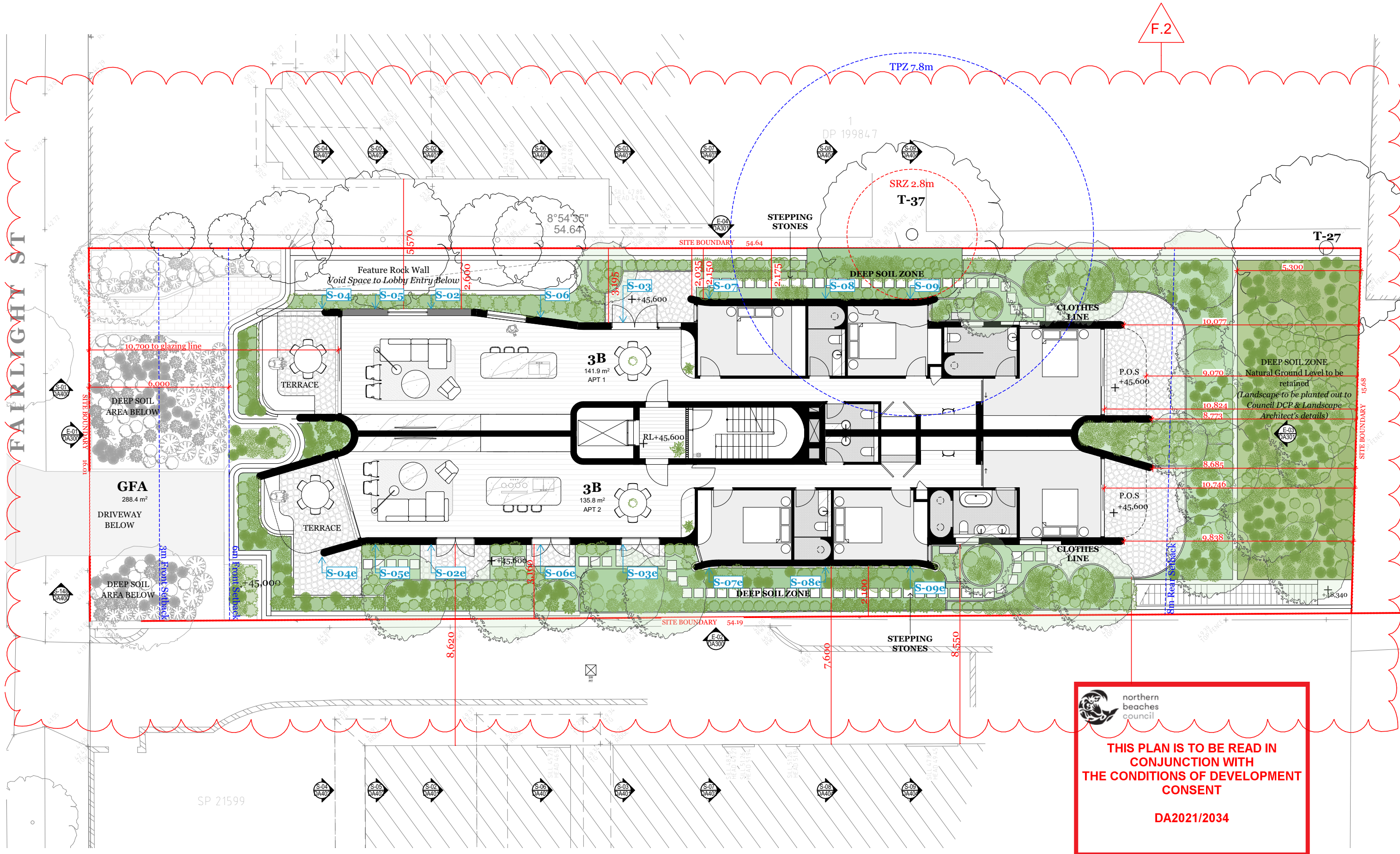
Client

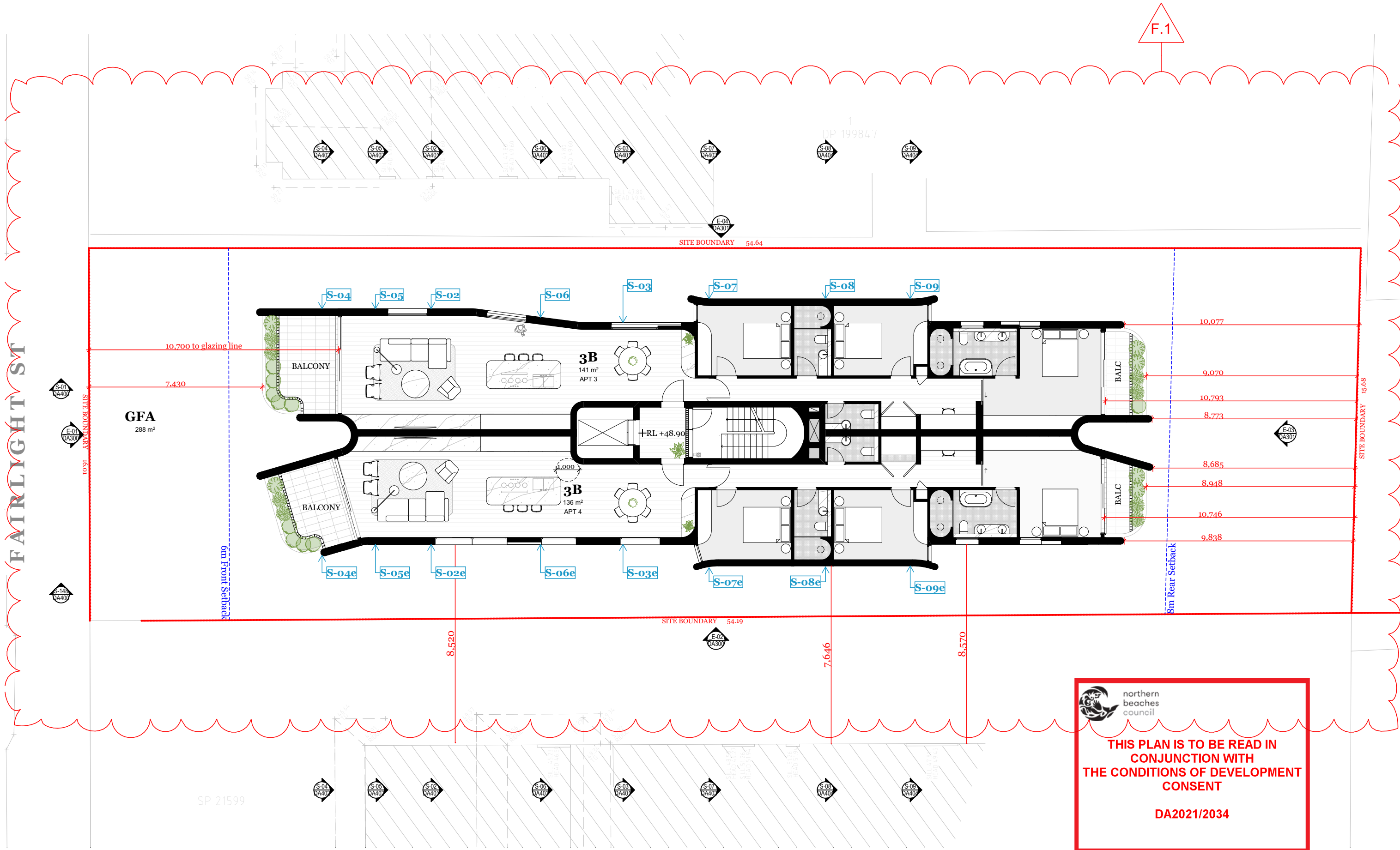
Adjani Pty Ltd

Drawing Number  
Revision

DA200  
F

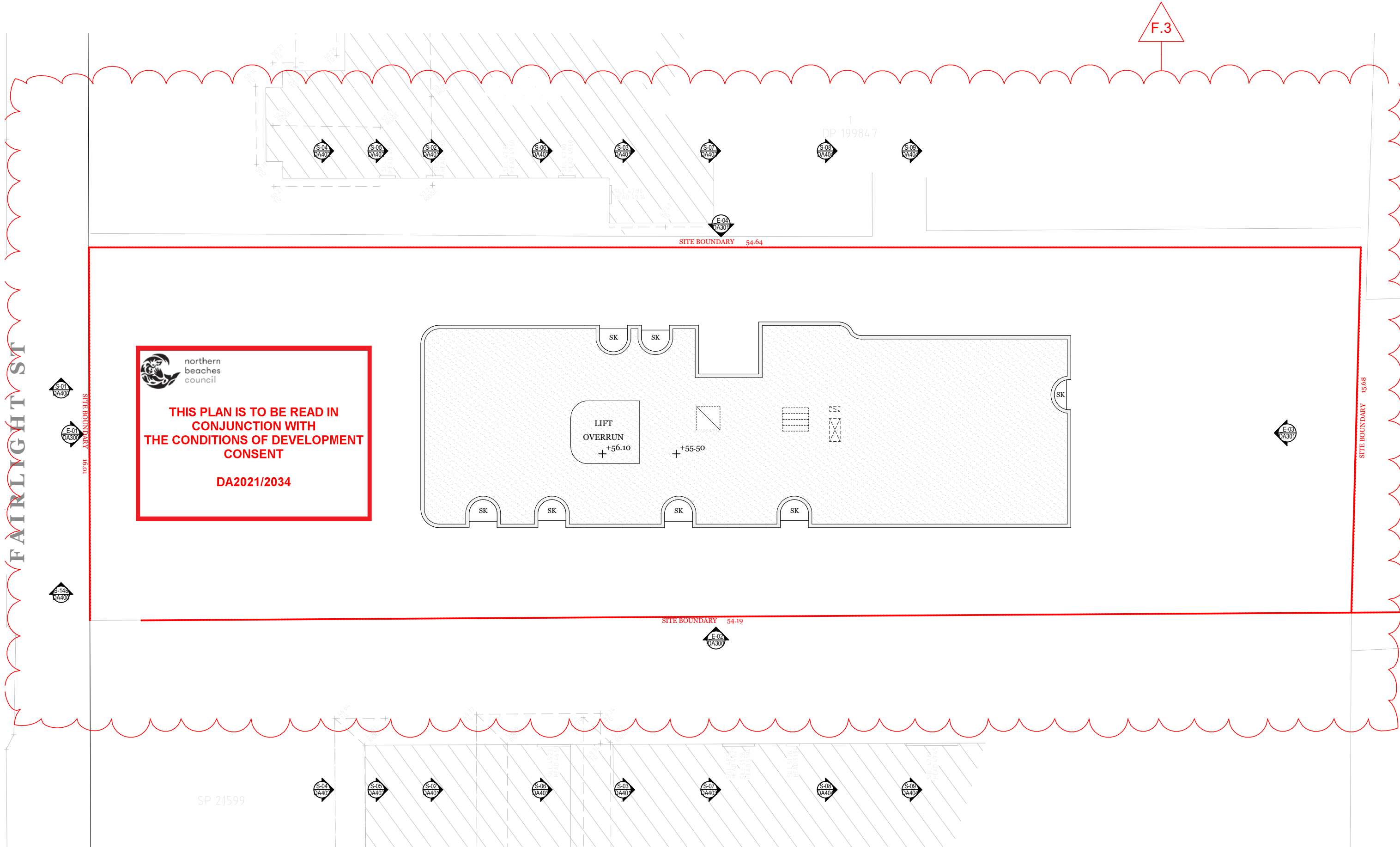












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Project Name  
Project Address

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30 Fairlight St,  
Fairlight, NSW 2094

Project Number  
Drawing Name  
Scale  
Date

00012781  
Roof Plan  
1:150 (A3)  
June 2021

Client

Adjani Pty Ltd

Drawing Number  
Revision

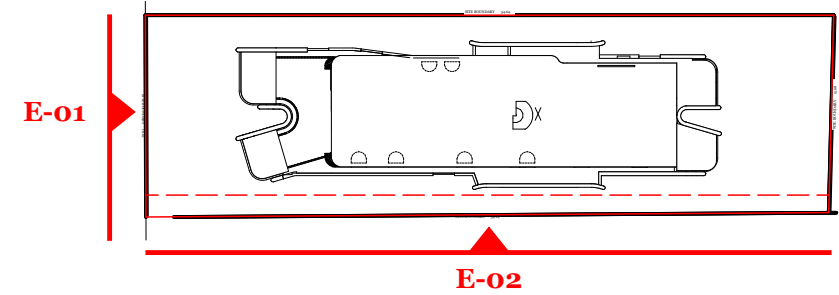
**DA204**  
**F**



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DA2021/2034

### KEY PLAN



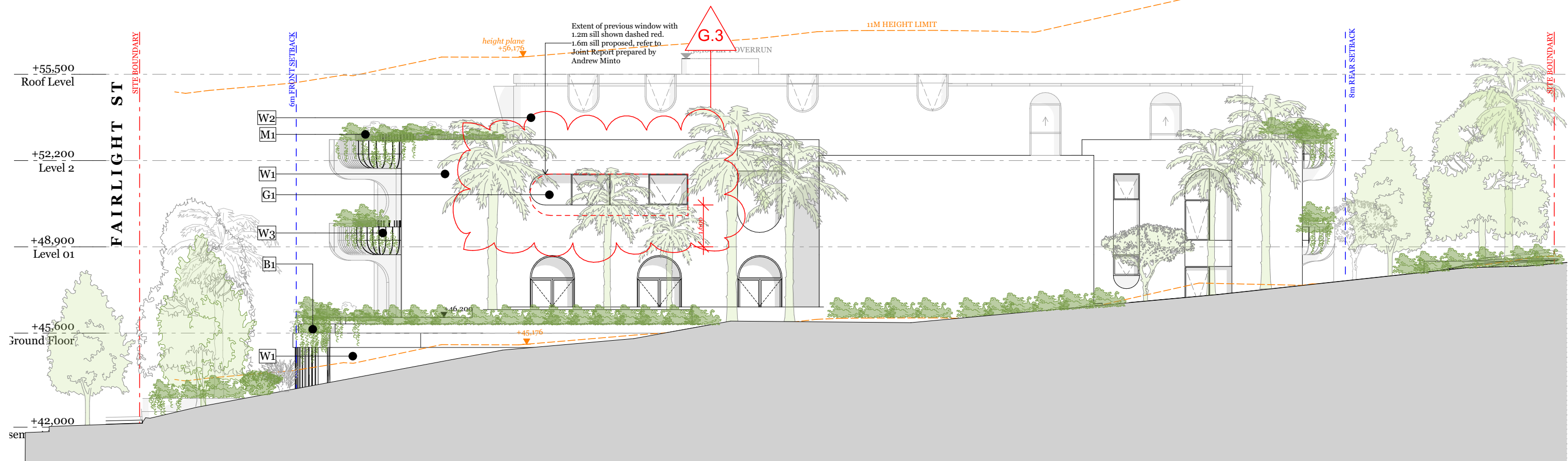
### MATERIALS LEGEND

|   |   |   |   |                                  |                             |
|---|---|---|---|----------------------------------|-----------------------------|
|   |   |   |   |                                  |                             |
| <b>W1</b><br>Light Warm<br>White Concrete | <b>W2</b><br>Light Beige<br>Ribbed Concrete | <b>W3</b><br>Mid-Warm<br>White Concrete | <b>M1</b><br>Dark Bronze<br>Metal Palisade /<br>Window / Door<br>Frames | <b>B1</b><br>Warm White<br>Brick | <b>G1</b><br>Clear<br>Glass |



South-Facing Elevation

1:150



East-Facing Elevation

1:150



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| G    | 24/10/2022 | MW | NB  | Court Amended Drawings |

Project Name  
Project Address

30 Fairlight St, Fairlight  
30 Fairlight St,  
Fairlight, NSW 2094

Project Number  
Drawing Name  
Scale  
Date

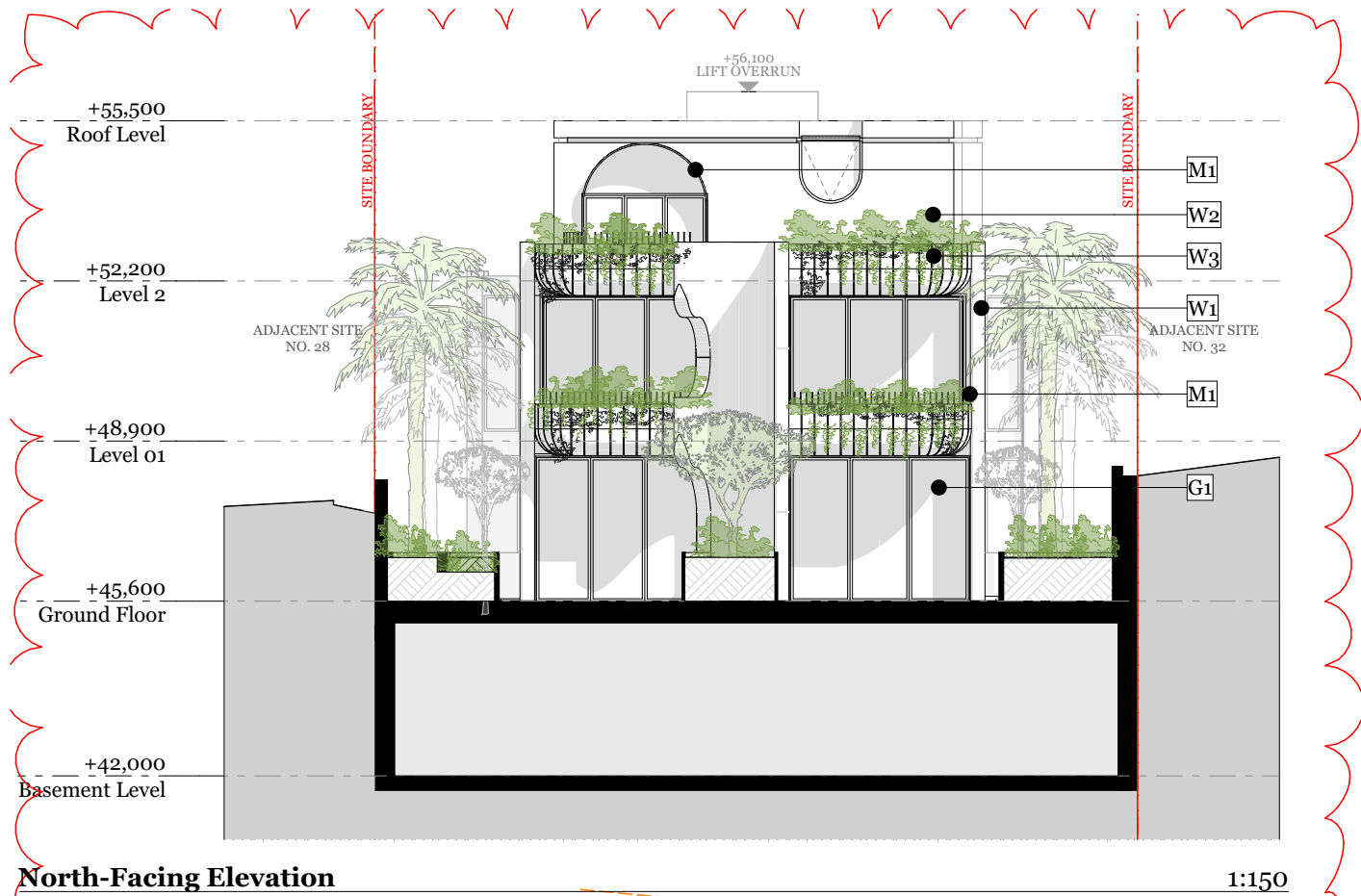
00012781  
Elevations - Sheet 1  
1:150 (A3)  
June 2021

Client

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Drawing Number  
Revision

**DA300**  
**G**



North-Facing Elevation

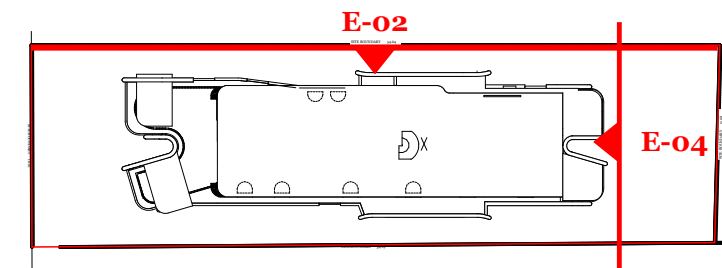
1:150

 northern  
beaches  
council

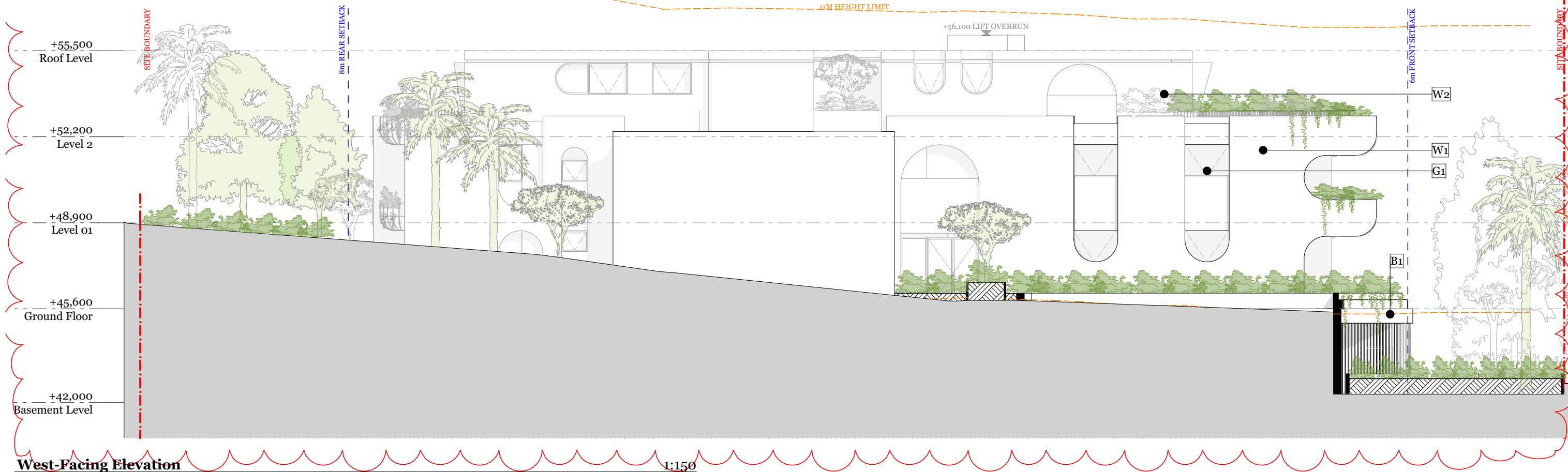
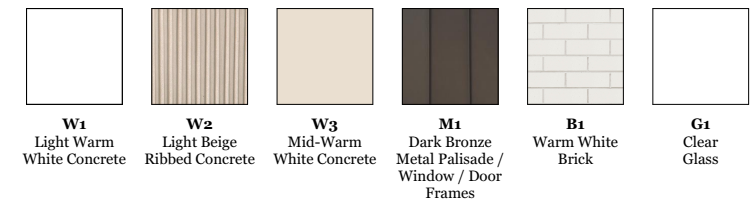
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**DA2021/2034**

**KEY PLAN**



**MATERIALS LEGEND**



West-Facing Elevation

1:150



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Project Name  
Project Address

30 Fairlight St, Fairlight  
30 Fairlight St,  
Fairlight, NSW 2094

Project Number  
Drawing Name  
Scale  
Date

00012781  
Elevations - Sheet 2  
1:150 (A3)  
June 2021

Client

Adjani Pty Ltd

Drawing Number  
Revision

**DA301**  
**F**



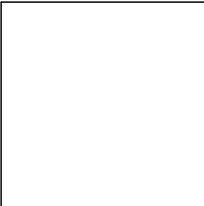

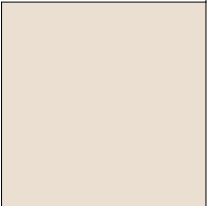

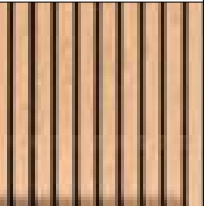


 northern  
beaches  
council

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CONSENT

DA2021/2034

F.4



|   |   |   |   |  |   |   |   |   |                                    |   |                                  |   |                             |
|---|---|---|---|--|---|---|---|---|------------------------------------|---|----------------------------------|---|-----------------------------|
|  | <b>W1</b><br>Light Warm<br>White Concrete |  | <b>W2</b><br>Light Beige<br>Ribbed Concrete |  | <b>W3</b><br>Mid-Warm<br>White Concrete |  | <b>M1</b><br>Dark Bronze<br>Metal Palisade /<br>Window / Door<br>Frames |  | <b>M2</b><br>Metal Screen<br>Slats |  | <b>B1</b><br>Warm White<br>Brick |  | <b>G1</b><br>Clear<br>Glass |
|---|---|---|---|--|---|---|---|---|------------------------------------|---|----------------------------------|---|-----------------------------|



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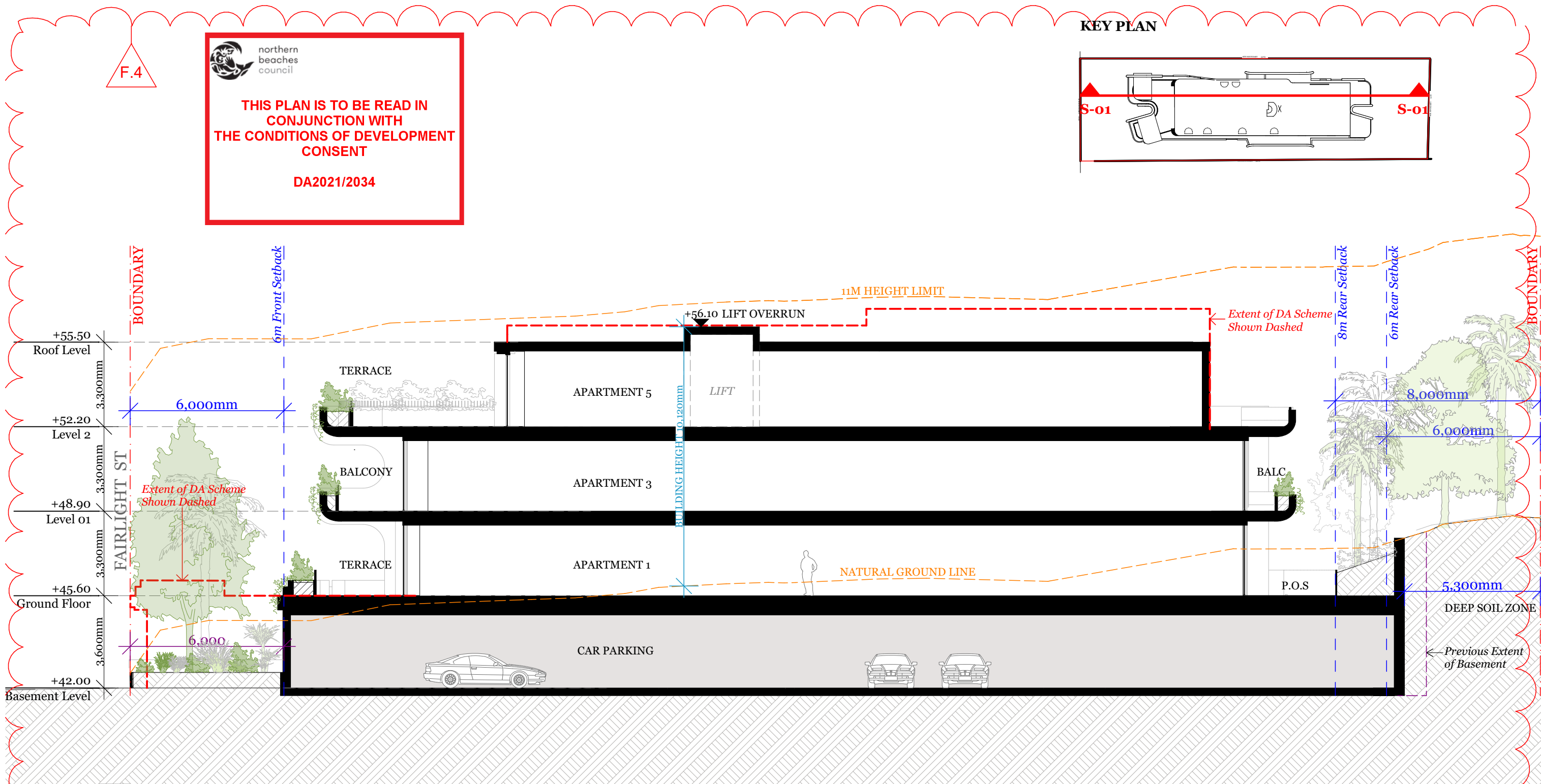
|                 |   |
|-----------------|---|
| Project Name    | 30 Fairlight St, Fairlight              |
| Project Address | 30 Fairlight St,<br>Fairlight, NSW 2094 |

|        |                |
|--------|----------------|
| Client | Adjani Pty Ltd |
|--------|----------------|

|                |                      |
|----------------|----------------------|
| Project Number | 00012781             |
| Drawing Name   | Materials & Finishes |
| Scale          | (A3)                 |
| Date           | June 2021            |

|                |       |
|----------------|-------|
| Drawing Number | DA302 |
| Revision       | F     |





Section - S-01



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Project Name  
Project Address

30 Fairlight St, Fairlight  
30 Fairlight St,  
Fairlight, NSW 2094

Project Number  
Drawing Name  
Scale  
Date

00012781  
Sections - Sheet 1  
1:150 (A3)  
June 2021

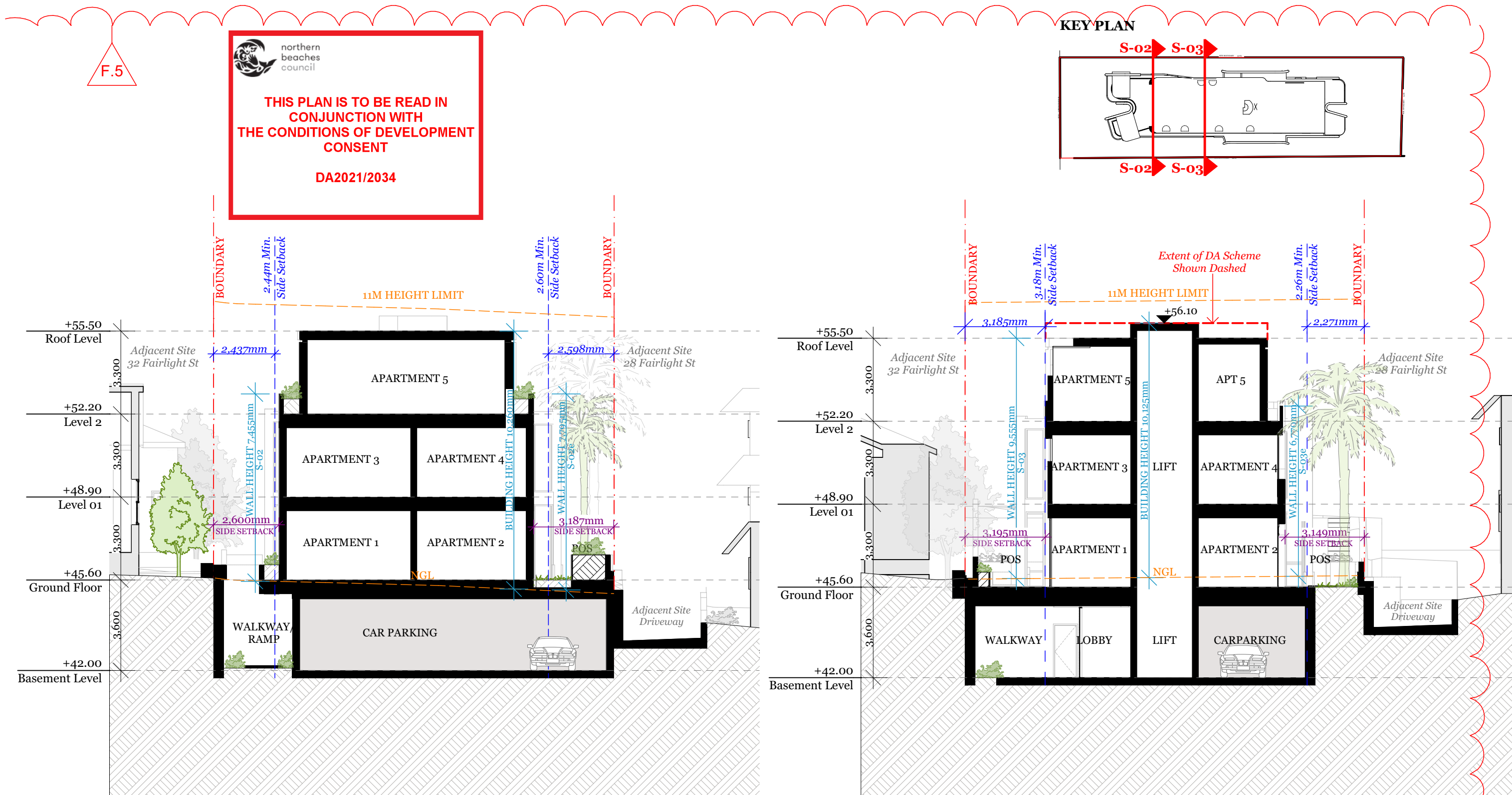
Client

Adjani Pty Ltd

Drawing Number  
Revision

**DA400**  
**F**





Section - S-02

Section - S-03



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Project Name  
Project Address

30 Fairlight St, Fairlight  
30 Fairlight St,  
Fairlight, NSW 2094

Project Number  
Drawing Name  
Scale  
Date

00012781  
Sections - Sheet 2  
(A3)  
June 2021

Client

Adjani Pty Ltd

Drawing Number  
Revision

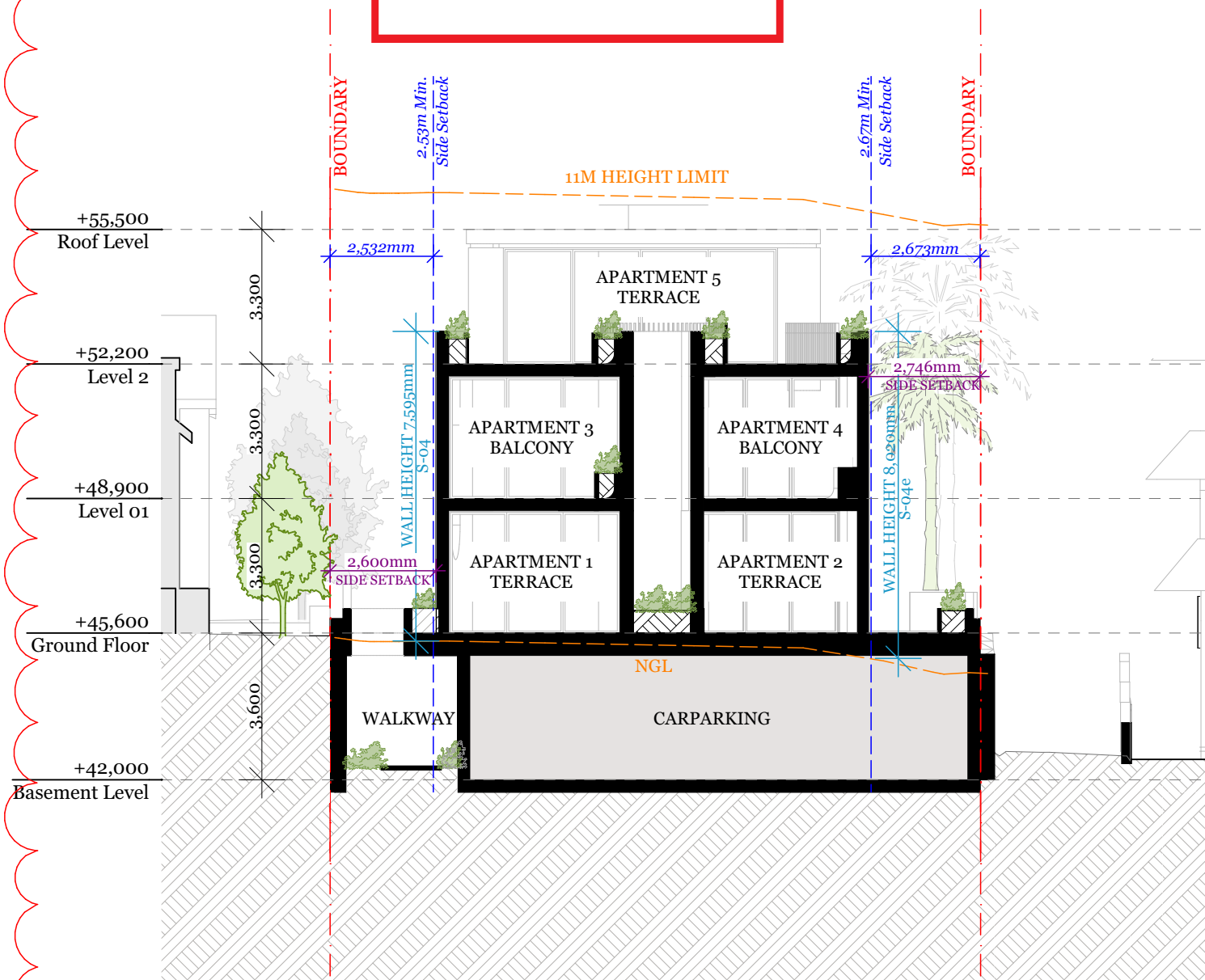
**DA401**  
**F**

F.3



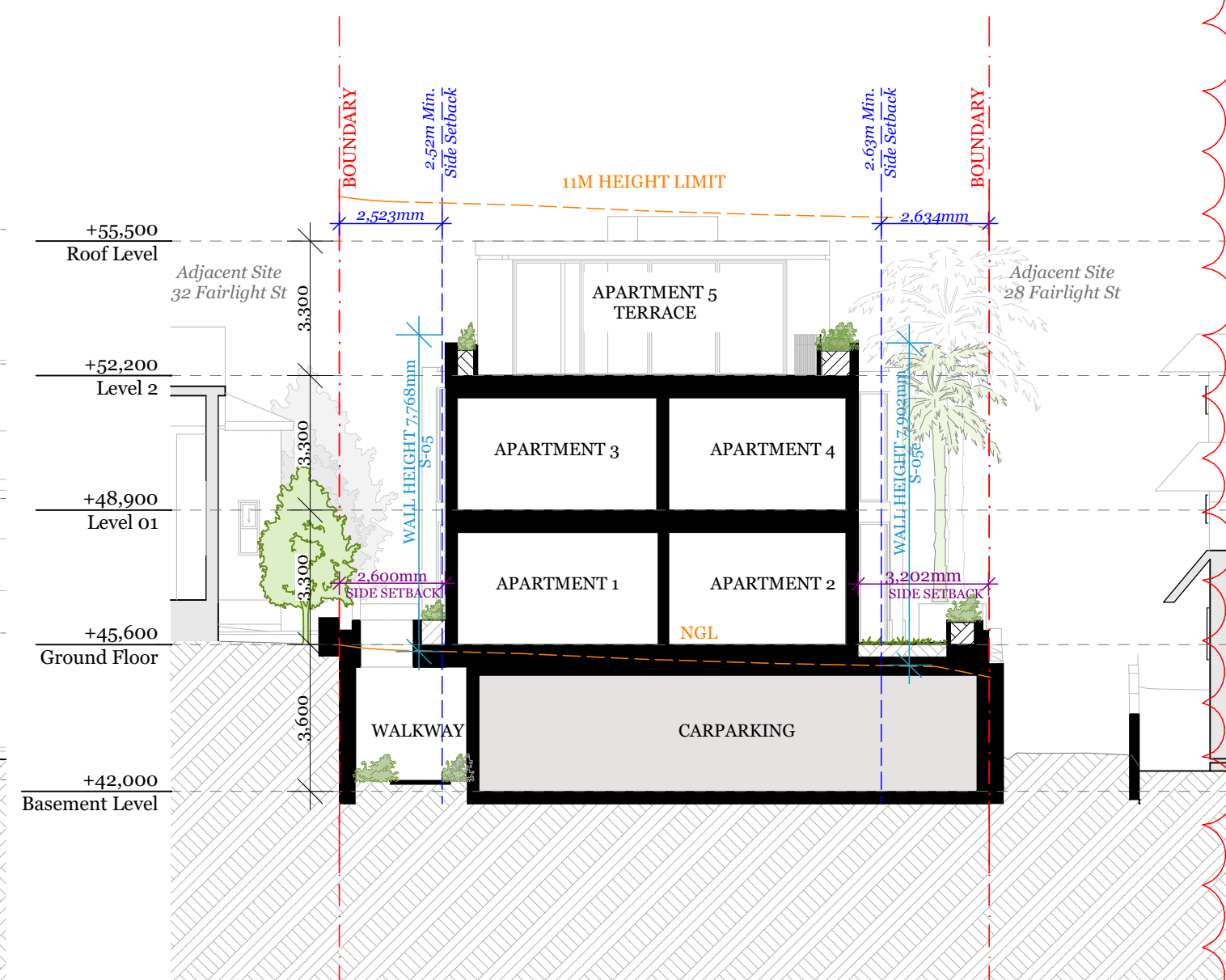
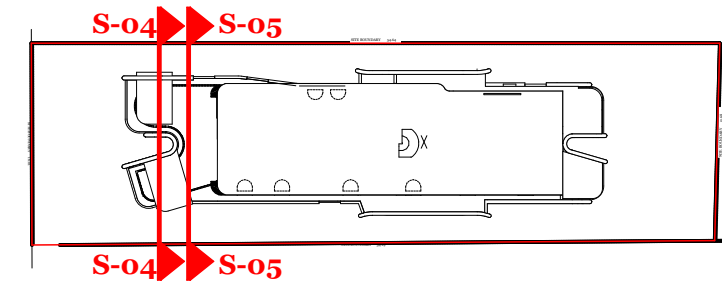
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Section - S-04

KEY PLAN



Section - S-05

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Project Name  
Project Address

30 Fairlight St, Fairlight  
30 Fairlight St,  
Fairlight, NSW 2094

Project Number  
Drawing Name  
Scale  
Date

00012781  
Sections - Sheet 3  
(A3)  
June 2021

Client

Adjani Pty Ltd

Drawing Number  
Revision

**DA402**  
**F**

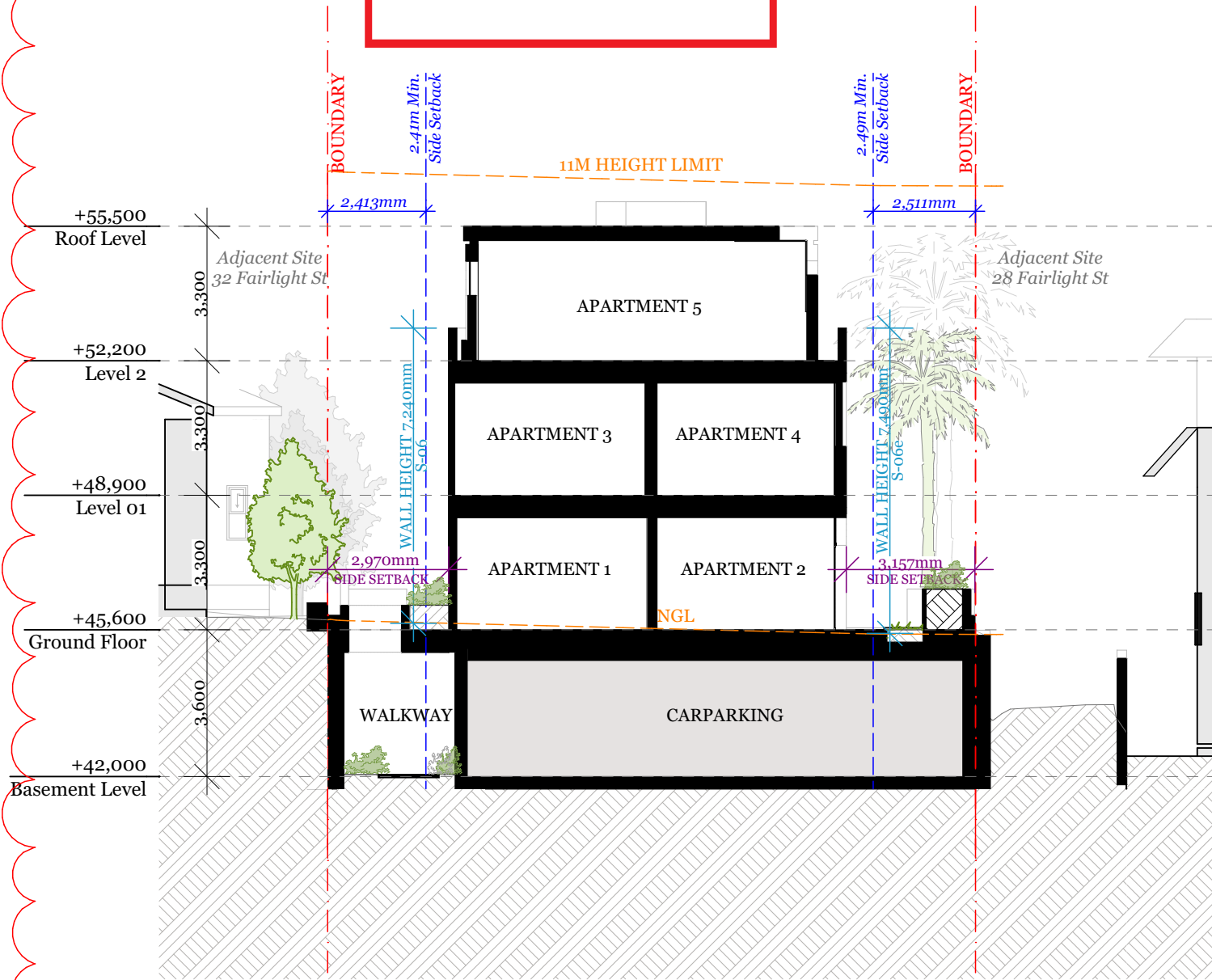


F.4

 northern  
beaches  
council

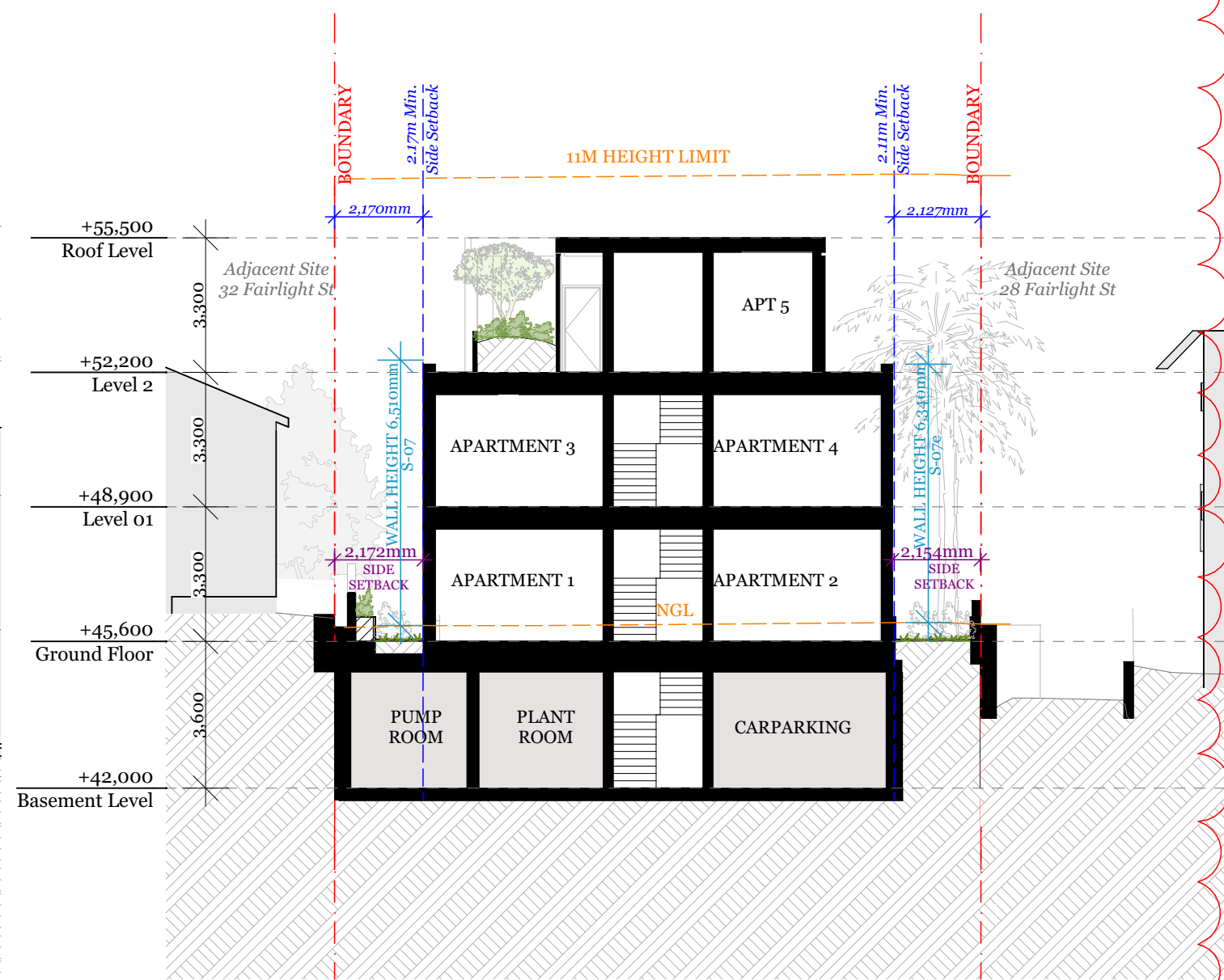
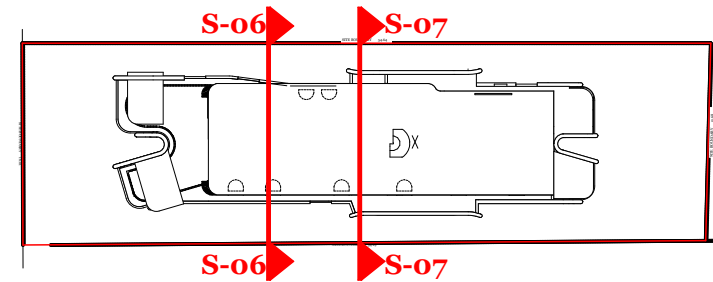
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**DA2021/2034**

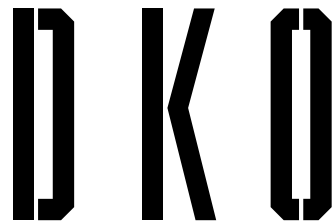


Section - S-06

KEY PLAN



Section - S-07



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Project Name  
Project Address

30 Fairlight St, Fairlight  
30 Fairlight St,  
Fairlight, NSW 2094

Project Number  
Drawing Name  
Scale  
Date

00012781  
Sections - Sheet 4  
(A3)  
June 2021

Client

Adjani Pty Ltd

Drawing Number  
Revision

**DA403**  
**F**

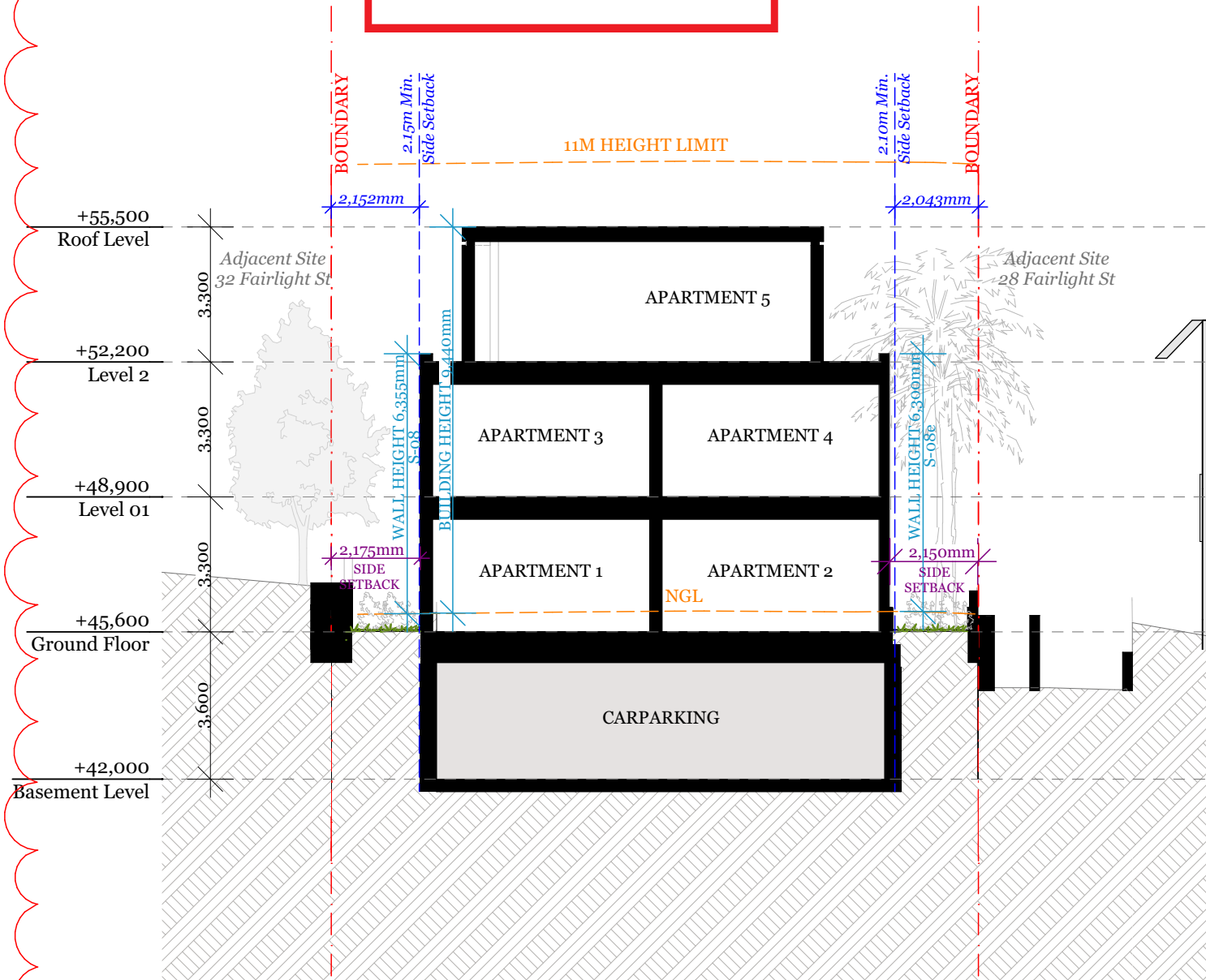
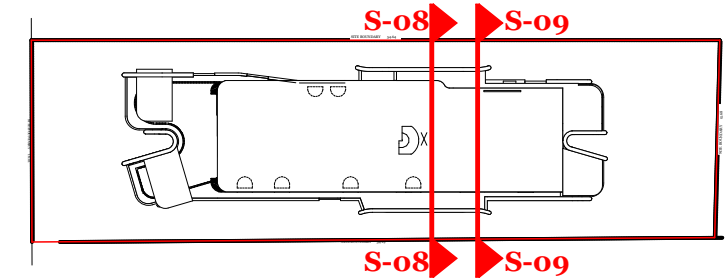
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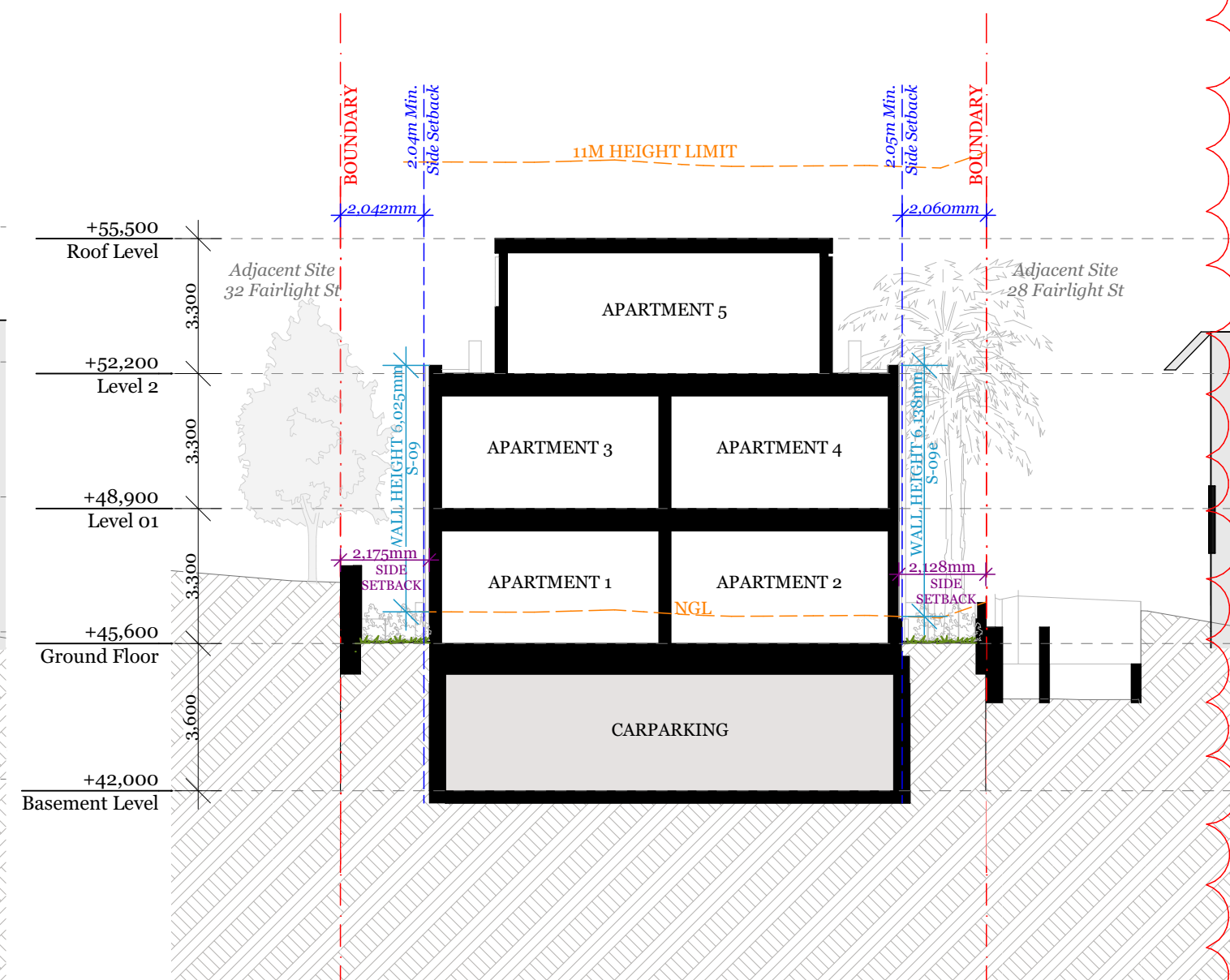
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DA2021/2034

## KEY PLAN



Section - S-08



Section - S-09



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Project Name  
Project Address

30 Fairlight St, Fairlight  
30 Fairlight St,  
Fairlight, NSW 2094

Project Number  
Drawing Name  
Scale  
Date

00012781  
Sections - Sheet 5  
(A3)  
June 2021

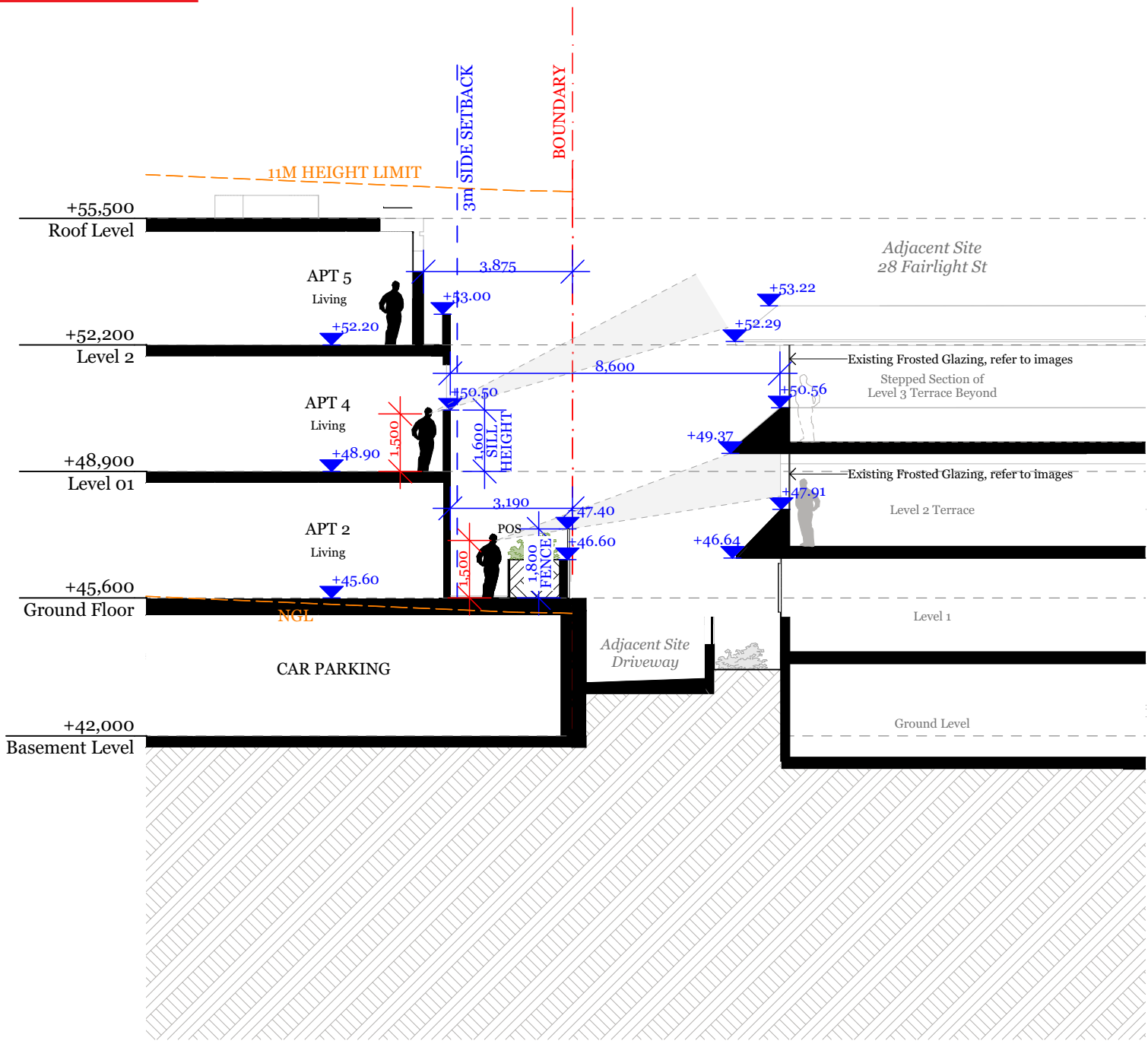
Client

Adjani Pty Ltd

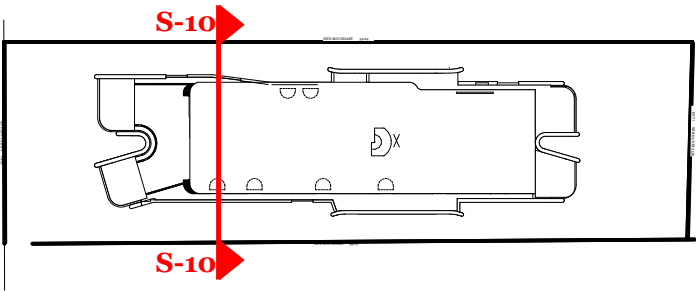
Drawing Number  
Revision

DA404  
F





Section - S-10



1. Looking East towards terraces of 26-28 Fairlight Street, Fairlight



2. Looking East towards terraces of 26-28 Fairlight Street, Fairlight



3. Looking East towards 26-28 Fairlight Street, Fairlight



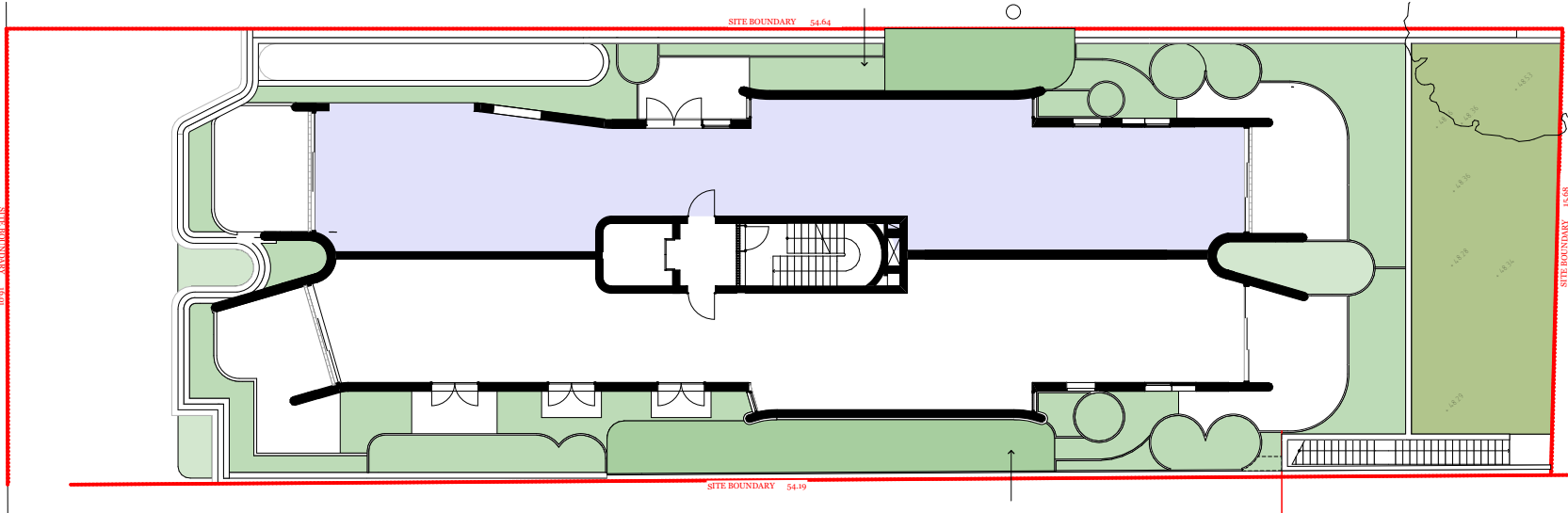
4. Looking North towards terraces of 26-28 Fairlight Street, Fairlight



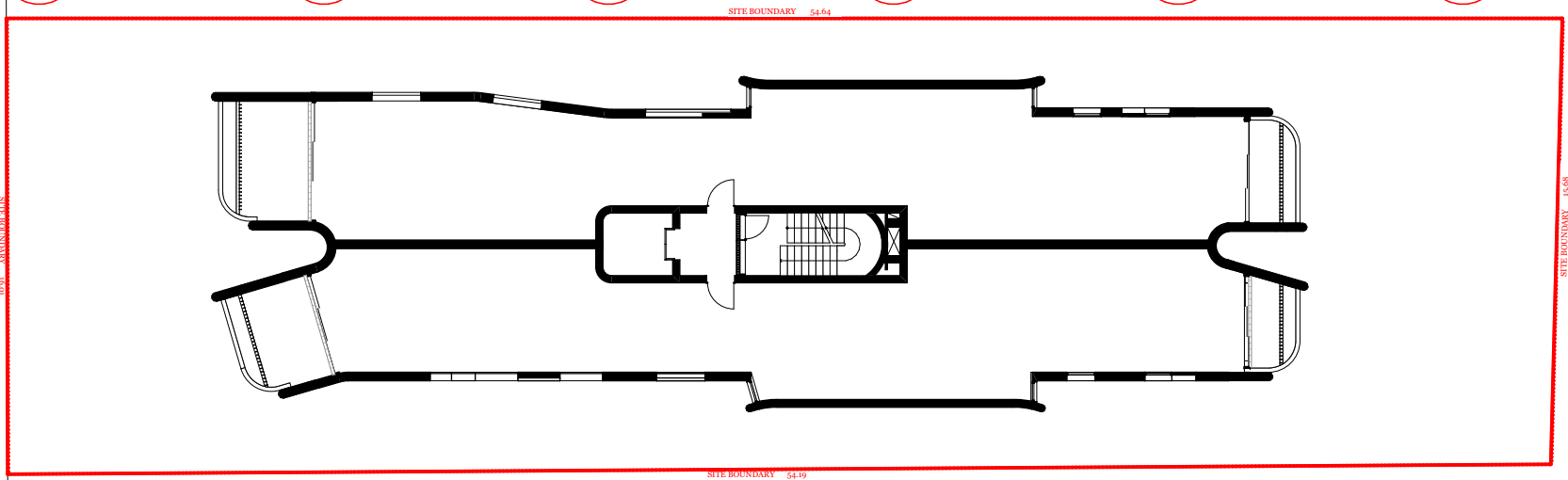
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DA2021/2034

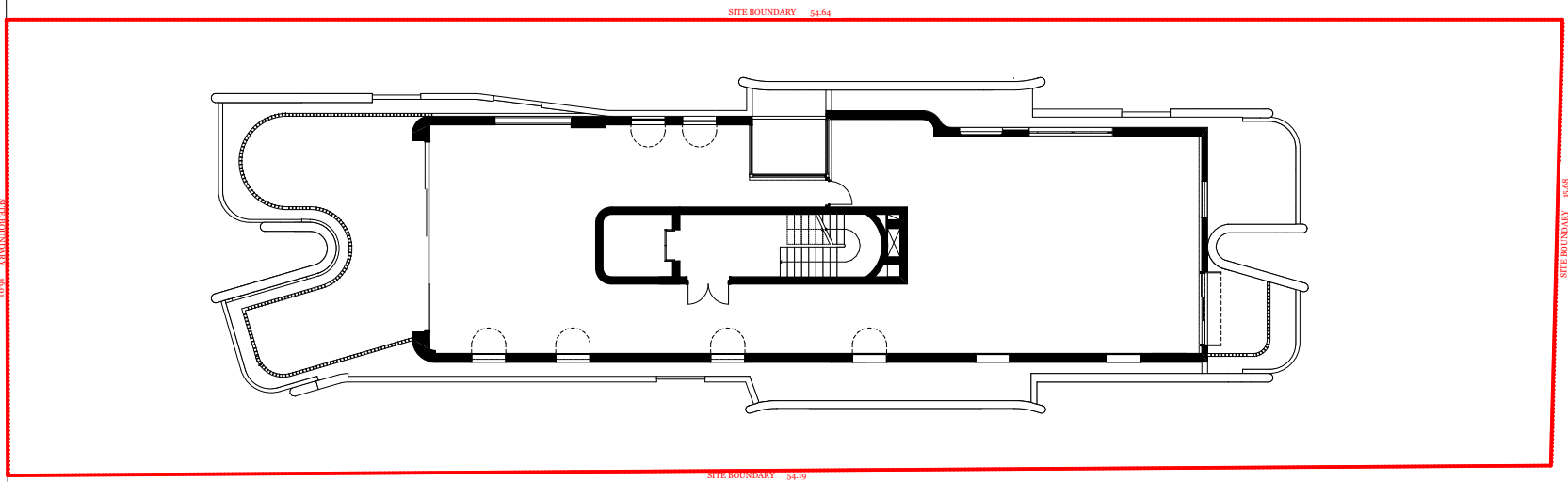
F.11



Ground Floor: 1/2 Units



Level 1: 0/2 Units



Level 2: 0/1 Units

**ADAPTABLE APARTMENTS**

Total No. Units: 5  
Proposed No. Adaptable Units: 1

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| Rev. | Date      | By | Ckd | Description            |
|------|-----------|----|-----|------------------------|
| F    | 8/09/2022 | MW | NB  | Court Amended Drawings |

Project Name  
Project Address

30 Fairlight St, Fairlight  
30 Fairlight St,  
Fairlight, NSW 2094

Project Number  
Drawing Name  
Scale  
Date

00012781  
Adaptable Apartments  
(A3)  
June 2021

Client

Adjani Pty Ltd

Drawing Number  
Revision

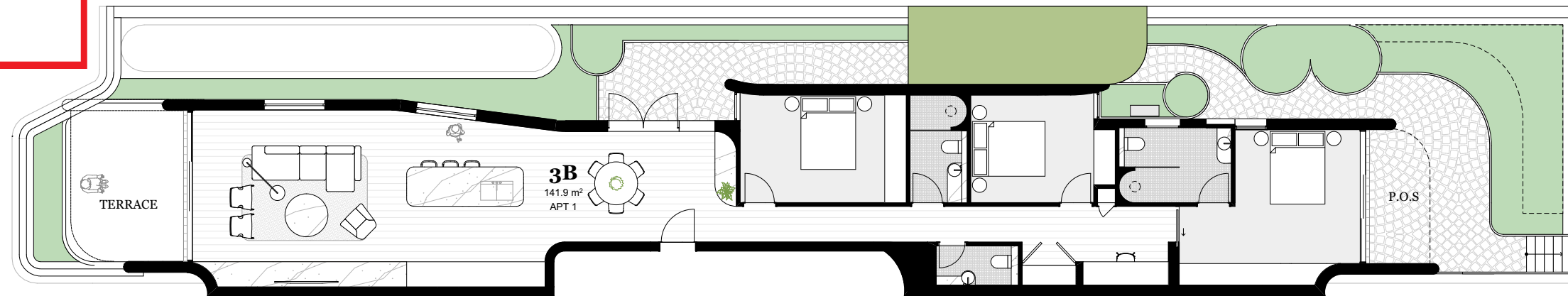
**DA507**  
**F**





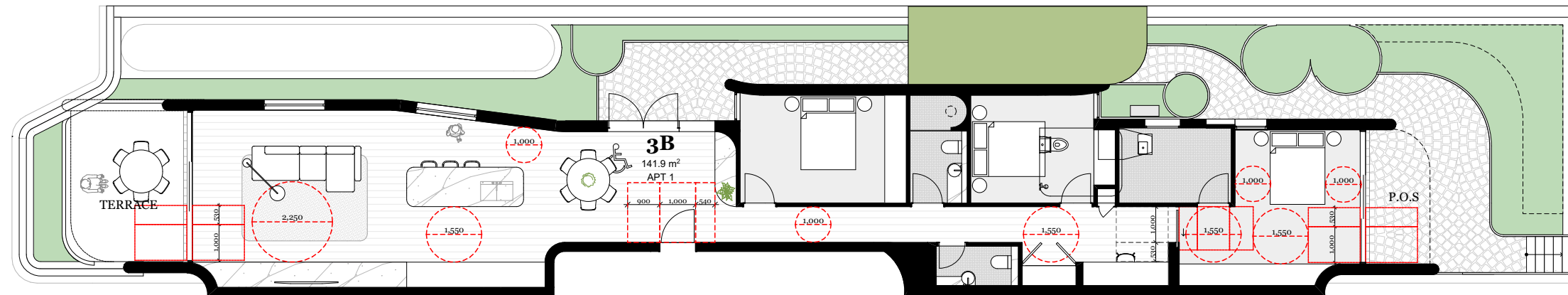
**THIS PLAN IS TO BE READ IN  
CONJUNCTION WITH  
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CONSENT**

DA2021/2034



### Pre-Adaptable Unit Layout

### *Apartment 1*



### Post-Adaptable Unit Layout

### *Apartment 1*



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|------|-----------|----|-----|------------------------|
| F    | 8/09/2022 | MW | NB  | Court Amended Drawings |

Project Name  
Project Address

30 Fairlight St, Fairlight  
30 Fairlight St,  
Fairlight, NSW 2094

|                |
|----------------|
| Project Number |
| Drawing Name   |
| Scale          |
| Date           |

00012781  
Adaptable Unit Layout  
1:150 (A3)  
June 2021

| Client

Adjani Pty Ltd

Drawing Number **DA508**  
Revision **F**

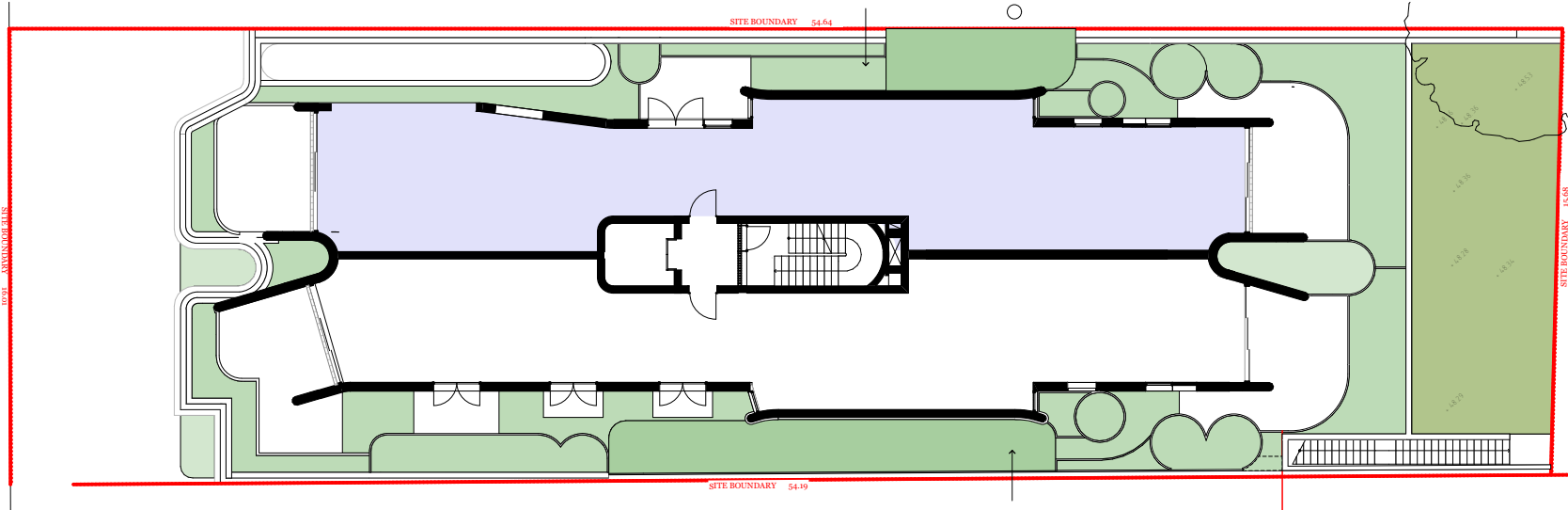




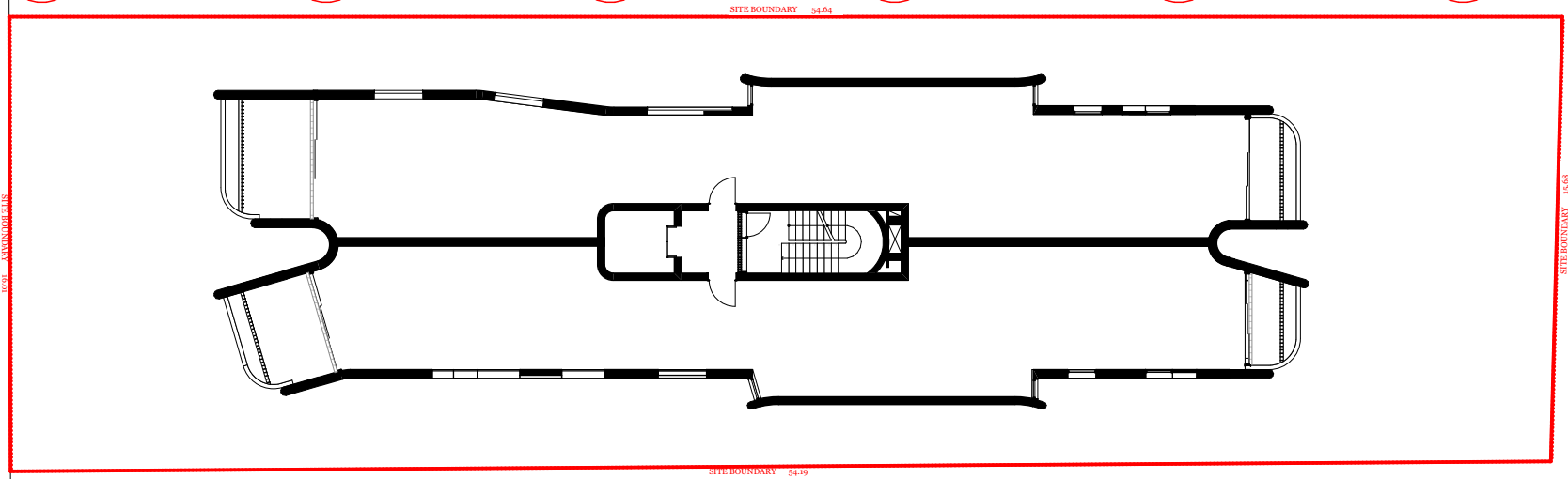
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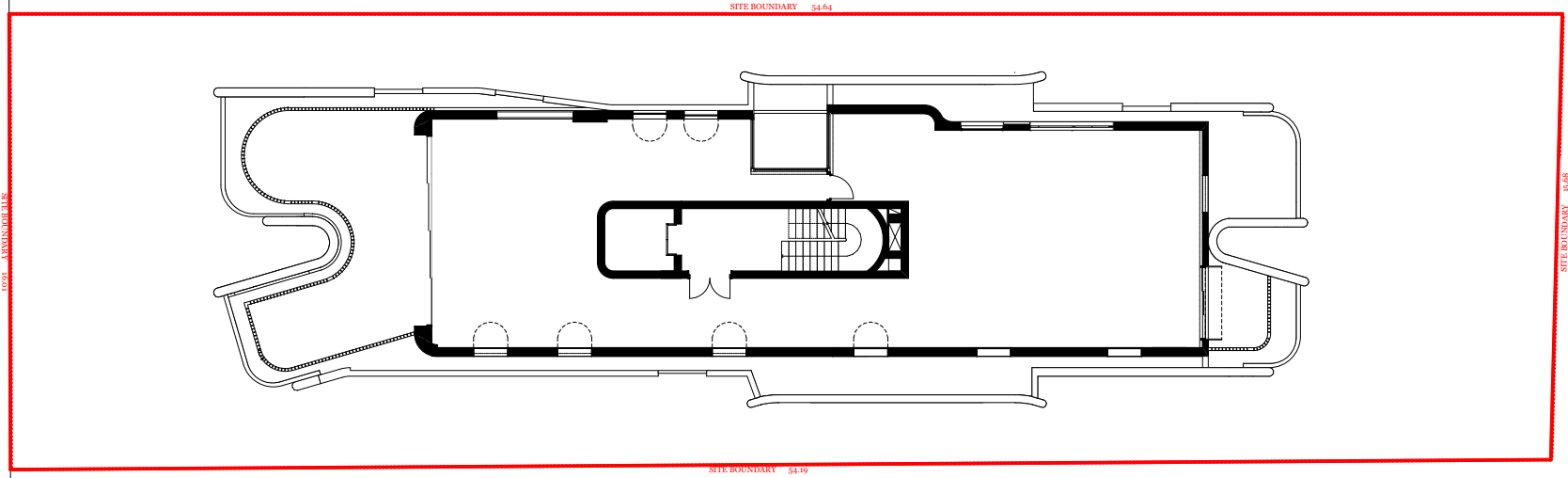
F.13



Ground Floor: 1/2 Units



Level 1: 0/2 Units



Level 2: 0/1 Units

**LIVABLE APARTMENTS**

Total No. Units: 5  
Proposed No. Adaptable Units: 1

**DKO**

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| F    | 8/09/2022 | MW | NB  | Court Amended Drawings |

Project Name  
Project Address

30 Fairlight St, Fairlight  
30 Fairlight St,  
Fairlight, NSW 2094

Project Number  
Drawing Name  
Scale  
Date

00012781  
Livable Apartments  
(A3)  
June 2021

Client

Adjani Pty Ltd

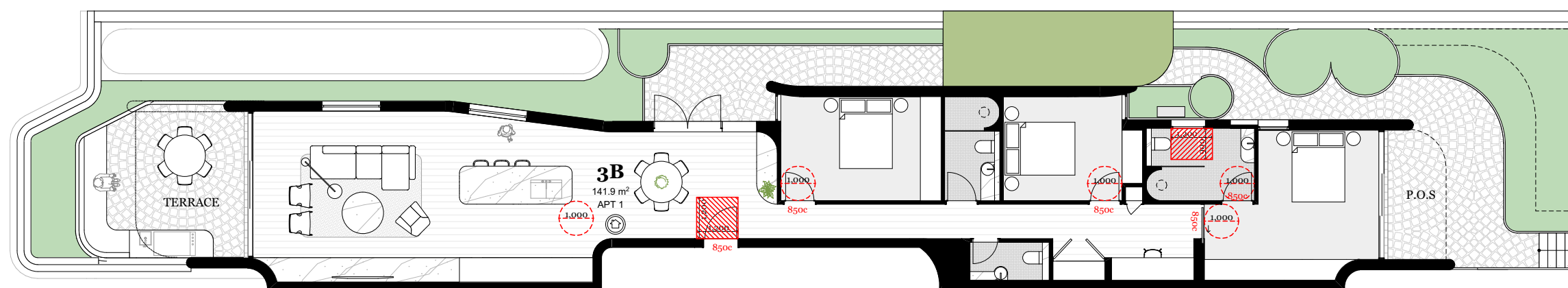
Drawing Number  
Revision

**DA509**  
**F**



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**Silver Level Livable Unit Layout**  
**Apartment 1**



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Project Number  
Drawing Name  
Scale  
Date

00012781  
Livable Unit Layout  
1:150 (A3)  
June 2021

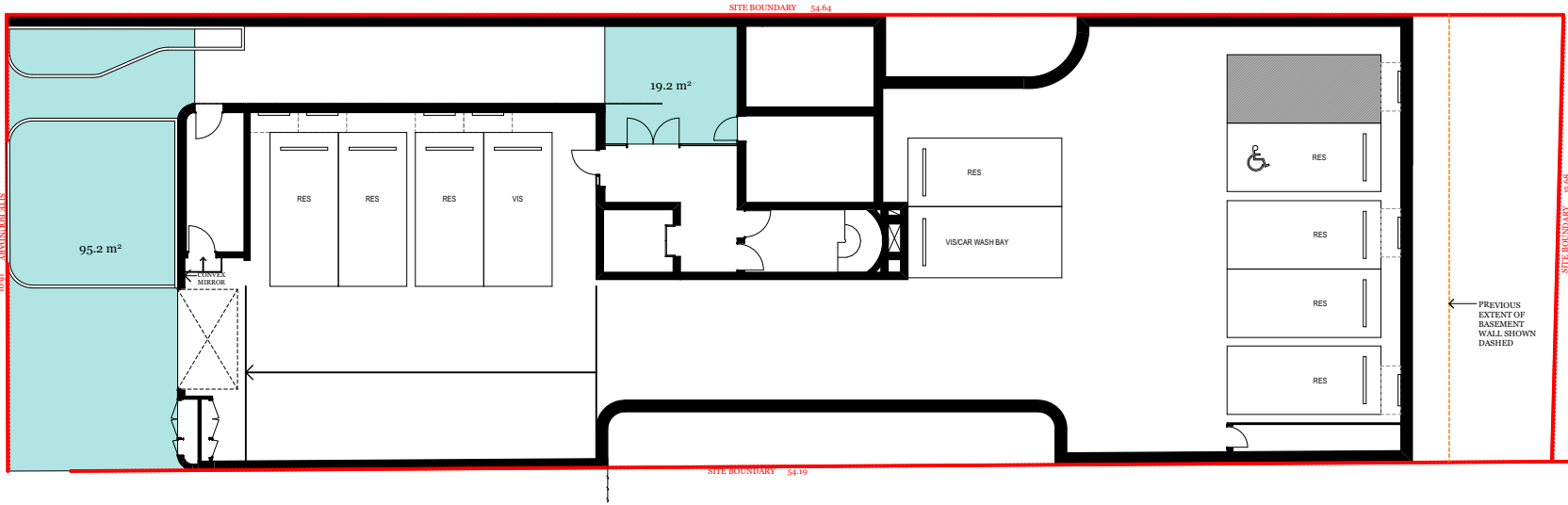
Client

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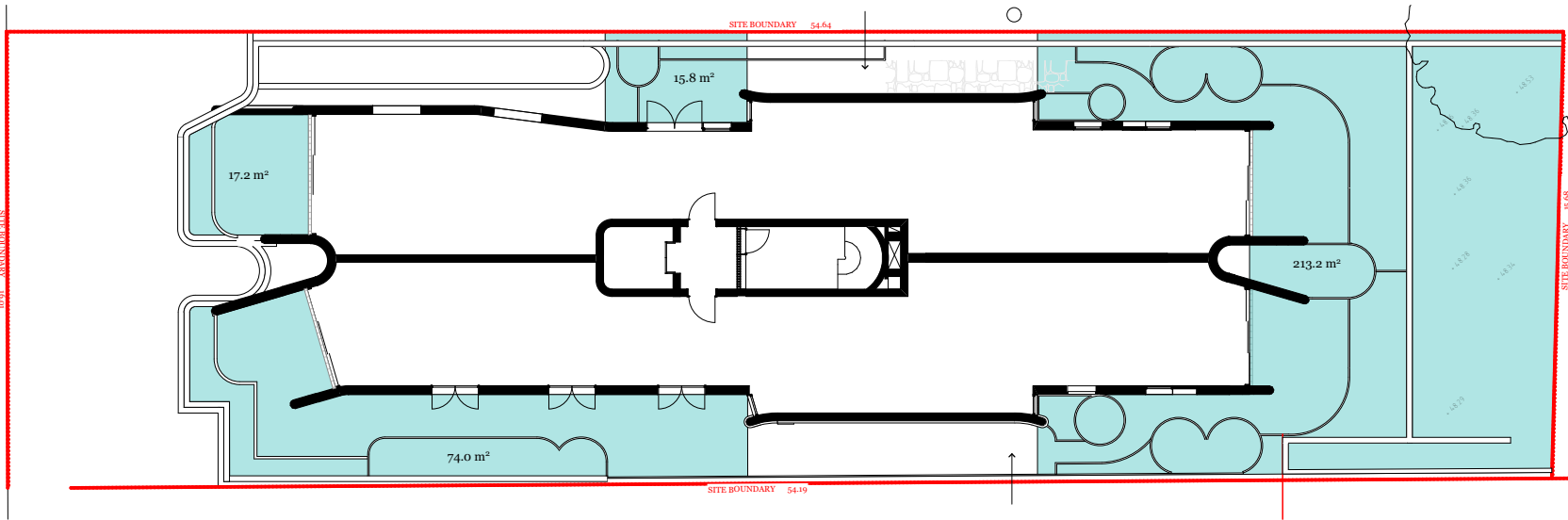
Drawing Number  
Revision

**DA510**  
**F**

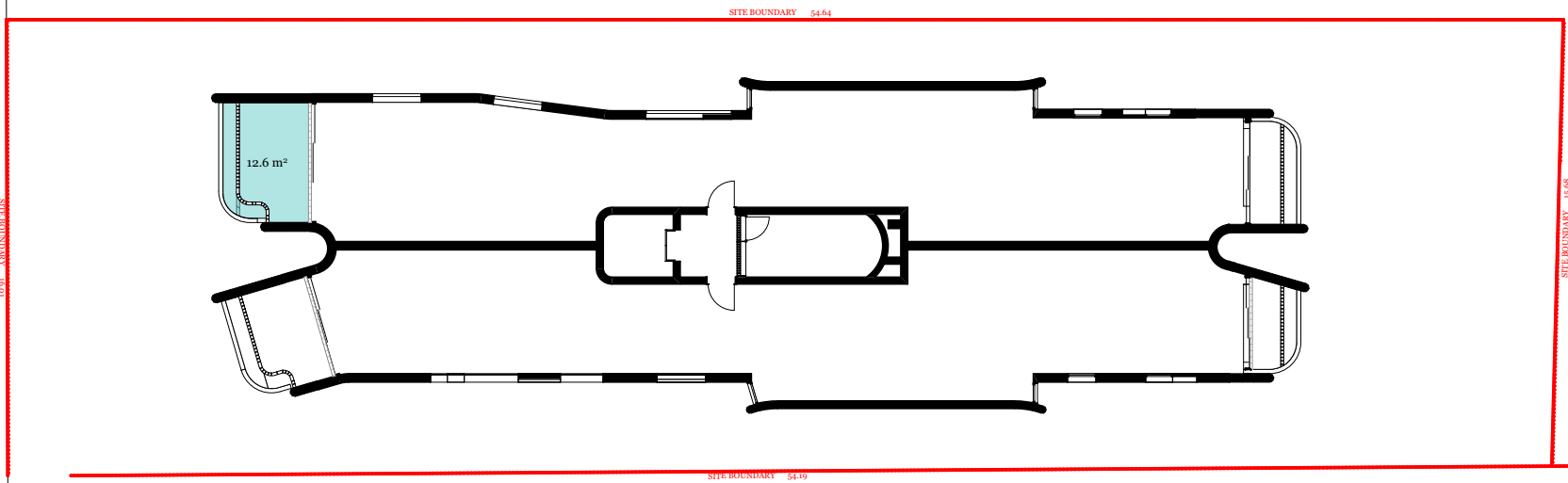




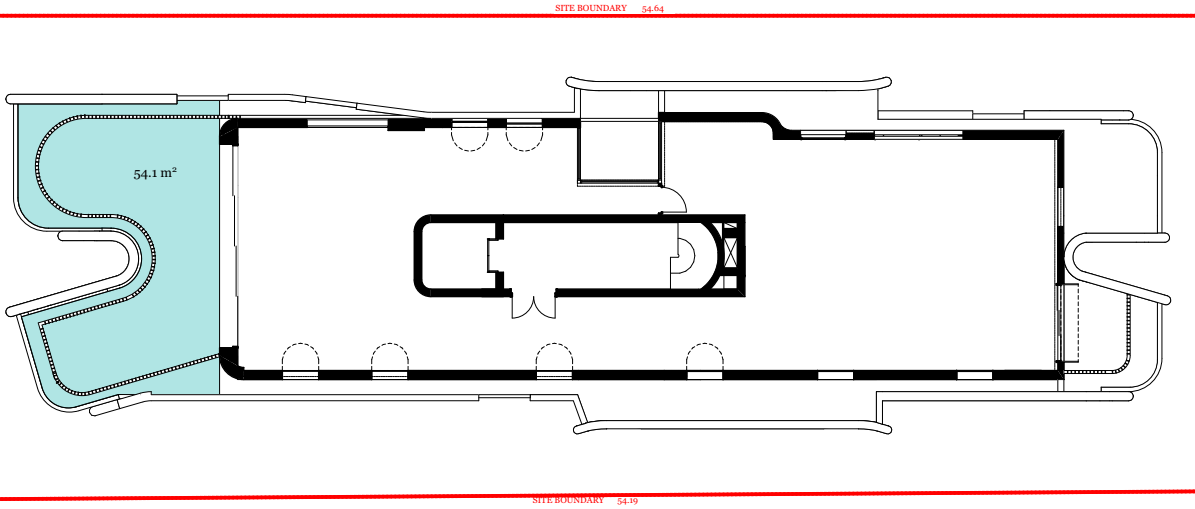
Basement Level  
Proposed Open Space: 114.4sqm



Ground Level  
Proposed Open Space: 320.2sqm



Level 1  
Proposed Open Space: 12.6sqm



Level 2  
Proposed Open Space: 54.1sqm

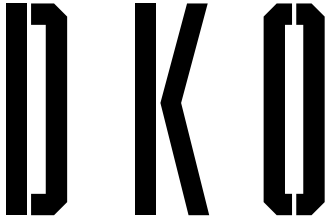


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CONSENT**

**DA2021/2034**

OPEN SPACE CALCULATIONS

|  |          |     |
|--|----------|-----|
| Site Area  | 862sqm   |     |
| Area Required As Open Space  | 431sqm   | 50% |
| Area Proposed As Open Space  | 501.3sqm | 58% |
| *Calculated Open Space has a horizontal dimension of at least 3m in any direction and a min area of 12m2 as per Manly DCP 2012 |          |     |



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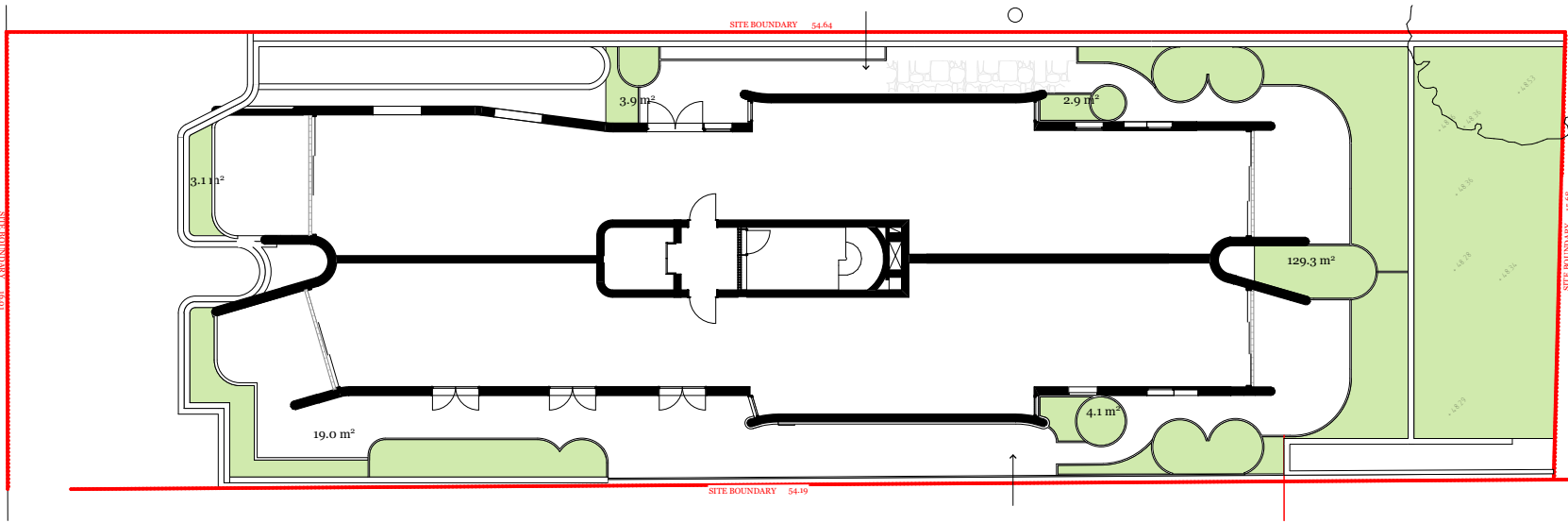
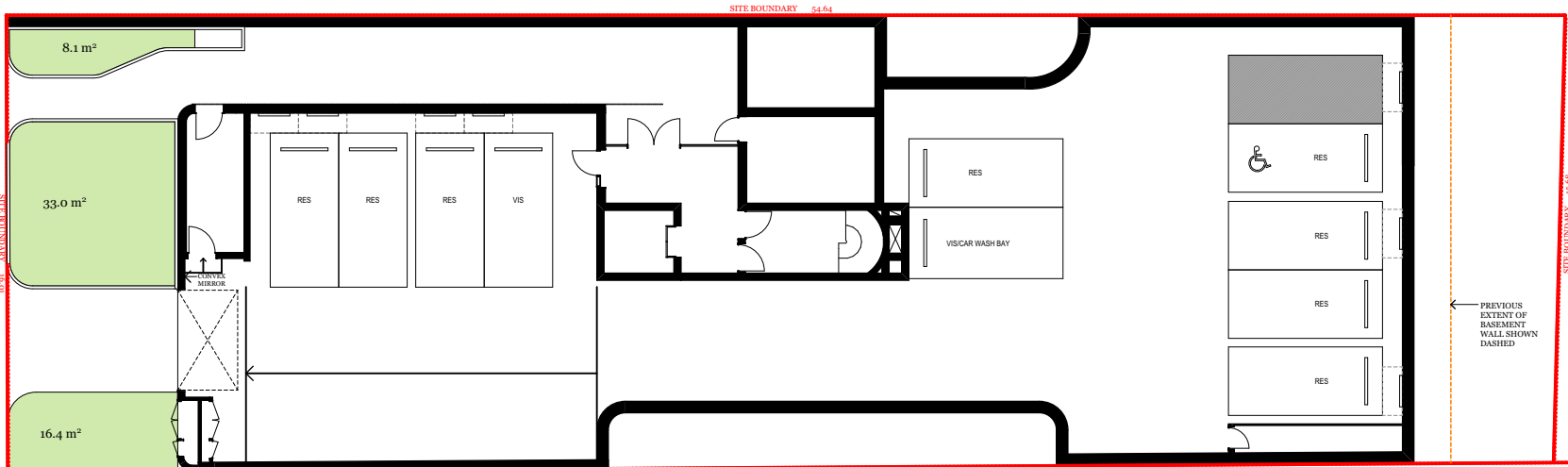
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| A    | 24/10/2022 | MW | NB  | Court Amended Drawings |

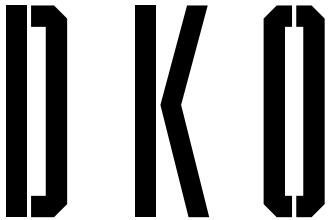
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|-----------------|---|----------------|-----------------------|
| Project Name    | 30 Fairlight St, Fairlight              | Project Number | 00012781              |
| Project Address | 30 Fairlight St,<br>Fairlight, NSW 2094 | Drawing Name   | Open Space Calculatio |
|                 |   | Scale          | (A3)                  |
|                 |   | Date           | June 2021             |
| Client          | Adjani Pty Ltd                          | Drawing Number | DA512                 |
|                 |   | Revision       | A                     |



LANDSCAPE AREA CALCULATIONS

|                             |          |                          |
|-----------------------------|----------|--------------------------|
| Site Area                   | 862sqm   |                          |
| Area Proposed As Open Space | 501.3sqm | 58%                      |
| Area Required As Landscape  | 150.4sqm | 30% of Actual Open Space |
| Area Proposed As Landscape  | 219.8sqm | 44% of Actual Open Space |

\*Calculated Landscape has soil depth of at least 1m and min. horizontal dimension of 0.5m measured from innser side of planter



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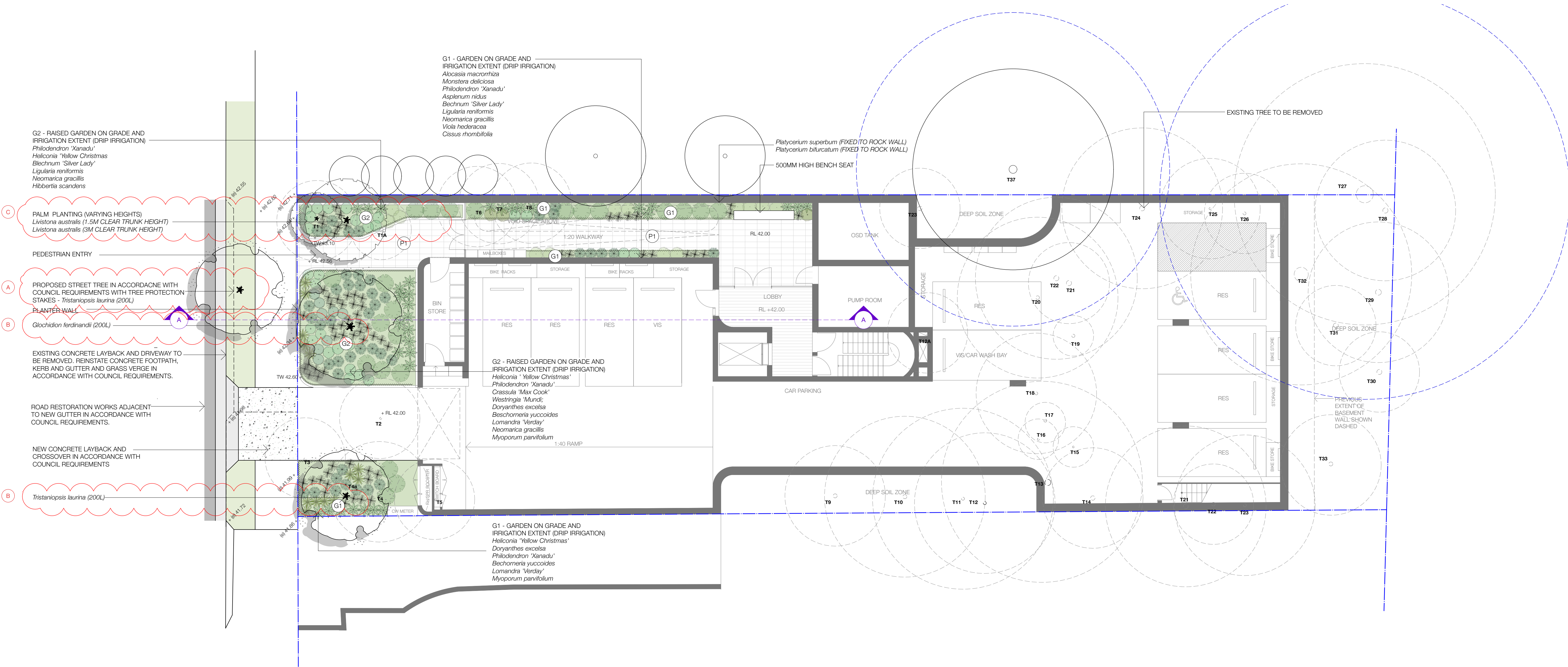
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|------|------------|----|-----|------------------------|
| A    | 24/10/2022 | MW | NB  | Court Amended Drawings |

|                 |   |                |                               |
|-----------------|---|----------------|-------------------------------|
| Project Name    | 30 Fairlight St, Fairlight              | Project Number | 00012781                      |
| Project Address | 30 Fairlight St,<br>Fairlight, NSW 2094 | Drawing Name   | Landscape Calculation<br>(A3) |
|                 |   | Scale          |                               |
|                 |   | Date           | June 2021                     |
| Client          | Adjani Pty Ltd                          | Drawing Number | DA513                         |
|                 |   | Revision       | A                             |





- AMENDMENTS
- A. *Tristanopsis laurina* SHALL BE INSTALLED AT A PRE-ORDERED 200 LITRE CONTAINER SIZE WITH TREE PROTECTION STAKING.
- B. *Tristanopsis laurina* and *Glochidion ferdinandii* SHALL BE INSTALLED AT A PRE-ORDERED 200 LITRE CONTAINER SIZE.
- C. *Livistona australis* SHALL BE INSTALLED AT A PRE-ORDERED 1 x 3M CLEAR TRUNK, and 1 x 1.5M CLEAR TRUNK OR GREATER.
- D. PAVERS LABS ACCESS OVER DEEP SOIL AREA ON GROUND FLOOR RELOCATED AGAINST BUILDING WALL - ADDITIONAL SMALL NATIVE TREE PLANTING OF 3 x *Elaeocarpus reticulatus* 'Prima Donna' AT A MINIMUM 75L CONTAINER SIZE.
- E. NOMINATED *Howea forsteriana* PLANTING GROUP IN 1M DEEP PLANTER EAST OF WALL - ADDITIONAL SMALL NATIVE TREE PLANTING OF 2 x *Elaeocarpus reticulatus* 'Prima Donna' AT A MINIMUM 75L CONTAINER SIZE.
- F. INTERNAL PLANTER WALL WIDTH MINIMUM 500MM IN ACCORDANCE WITH MAINLY DCP REQUIREMENTS - EXCLUDING THE LEVEL 2 PLANTER OUTSIDE OF KITCHEN DESIGNED TO TAPER.



northern  
beaches  
council

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DA2021/2034

| REV: | DATE:    | DOCUMENT STATUS/ AMENDMENTS           | REFER TO LA LP 04 FOR LEGEND, NOTES AND PLANT SCHEDULE | <div><div>NORTH</div></div> | <div><div>black beetle</div><div>Landscape Architecture and Design</div><div>Black Beetle pty ltd<br/>Level 1, 1073 Pittwater Road, Collaroy NSW 2097<br/>Tel: 0422 104 416<br/>email: blackbeetle@blackbeetle.com.au</div></div> | <div><div>PROJECT</div><div>Residential Development</div><div>30 Fairlight street,<br/>FAIRLIGHT, NSW</div></div> | <div><div>DRAWING TITLE</div><div>LANDSCAPE PLAN<br/>BASEMENT</div></div> | Drawn IK / GB                  | Client                              |
|------|----------|---------------------------------------|--|--|---|---|---|--------------------------------|-------------------------------------|
|      |          |                                       |  |  |   |   |   | L.Architect Authorised IK / GB | 30 Fairlight Pty Limited            |
| 03   | 30.08.21 | FOR DA                                |  |  |   |   |   | Scale 1:100 @ A1               | Status                              |
| 04   | 15.10.21 | FOR DA                                |  |  |   |   |   |                                | Development Application             |
| 05   | 29.06.22 | FOR APPROVAL                          |  |  |   |   |   |                                |                                     |
| 06   | 30.08.22 | FOR APPROVAL                          |  |  |   |   |   |                                |                                     |
| 07   | 13.09.22 | FOR APPROVAL - COURT AMENDED DRAWINGS |  |  |   |   |   | JOB NUMBER BB 1294             | DRAWING NUMBER / ISSUE LA LP 01/ 07 |

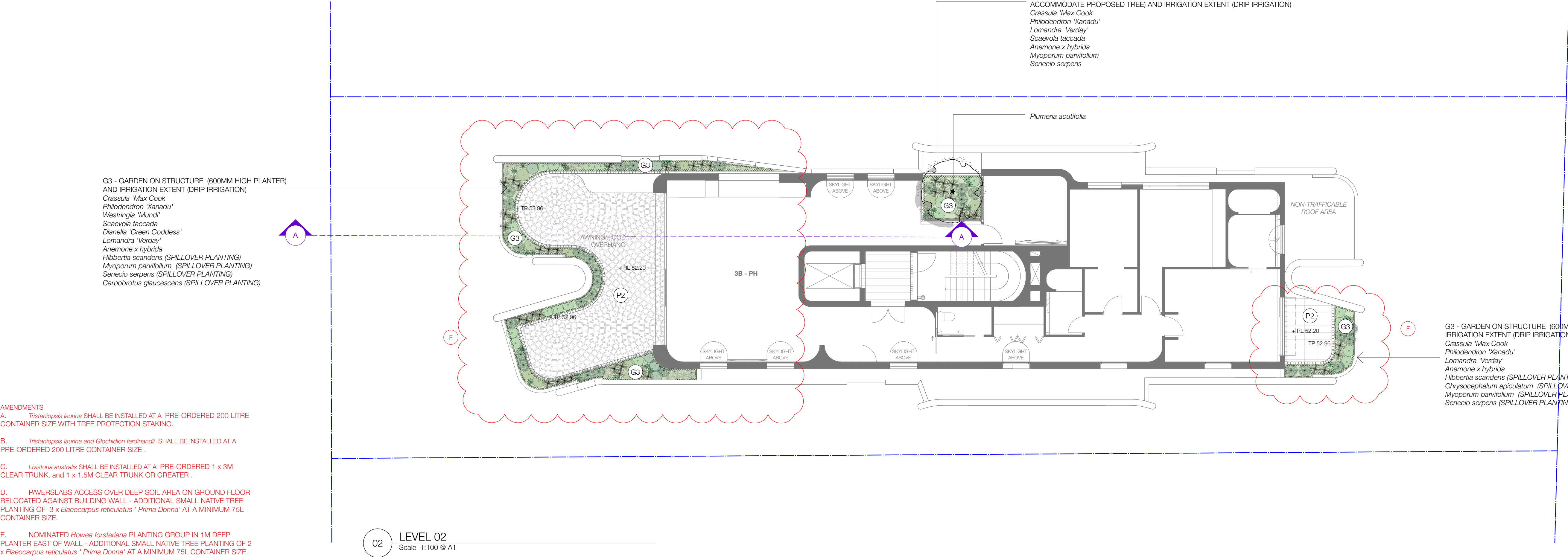
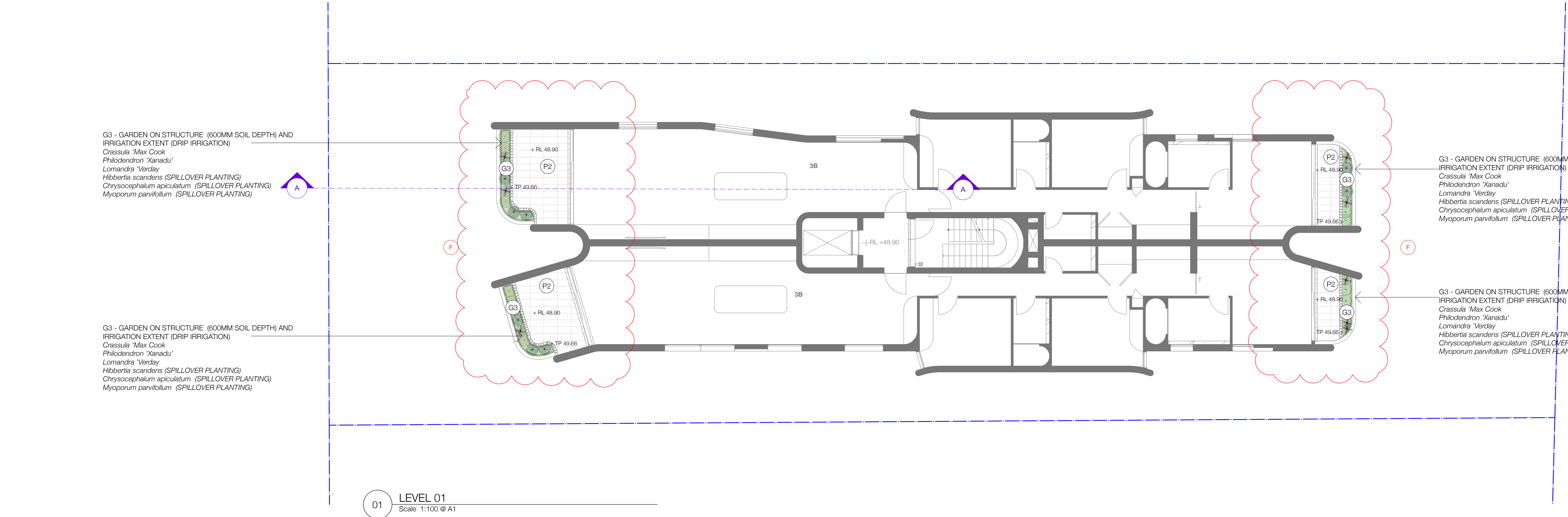
NOT FOR CONSTRUCTION





|   |         |                        |                          |
|---|---------|------------------------|--------------------------|
| Drawn   | IK / GB | Client                 |                          |
| L.Architect Authorised  |         |                        | 30 Fairlight Pty Limited |
| IK / GB   |         | Status                 |                          |
| Scale   |         |                        | Development Application  |
| 1:100 @ A1  |         |                        |                          |
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| JOB NUMBER  |         | DRAWING NUMBER / ISSUE |                          |
| BB 1294   |         | DLA LP 02/ 07          |                          |





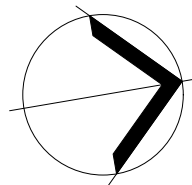
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- A. *Tristanopsis laurina* SHALL BE INSTALLED AT A PRE-ORDERED 200 LITRE CONTAINER SIZE WITH TREE PROTECTION STAKING.
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- F. INTERNAL PLANTER WALL WIDTH MINIMUM 500MM IN ACCORDANCE WITH MAINLY DCP REQUIREMENTS - EXCLUDING THE LEVEL 2 PLANTER OUTSIDE OF KITCHEN DESIGNED TO TAPER.

| REV: | DATE:    | DOCUMENT STATUS/ AMENDMENTS           |
|------|----------|---------------------------------------|
| 02   | 23.08.21 | FOR COORDINATION                      |
| 03   | 30.08.21 | FOR DA                                |
| 04   | 29.06.22 | FOR APPROVAL                          |
| 05   | 30.08.22 | FOR APPROVAL                          |
| 06   | 13.09.22 | FOR APPROVAL - COURT AMENDED DRAWINGS |

REFER TO LA LP 04 FOR LEGEND, NOTES AND PLANT SCHEDULE



NORTH



black beetle  
Landscape Architecture and Design

Black Beetle Pty Ltd  
Level 1, 1073 Pittwater Road, Collaroy NSW 2097  
Tel: 0422 104 416  
email: blackbeetle@blackbeetle.com.au

PROJECT  
Residential Development  
30 Fairlight street,  
FAIRLIGHT, NSW

DRAWING TITLE  
LANDSCAPE PLAN  
LEVEL01 & LEVEL 02

Drawn IK / GB  
L.Architect Authorised  
IK / GB  
Scale  
1:100 @ A1

JOB NUMBER  
BB 1294

Client  
30 Fairlight Pty Limited

Status  
Development Application

DRAWING NUMBER / ISSUE  
LA LP 03/ 06

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GENERAL NOTES / SPECIFICATION

1. DRAWINGS TO BE READ IN CONJUNCTION WITH ARCHITECTURAL AND ENGINEERING DRAWINGS. NOTE ALL LANDSCAPE HARDWORKS INCLUDING PAVING, STEPS, RETAINING WALLS AND FENCES TO ARCHITECTS DOCUMENTATION .

2. ALL PLANTING AREAS TO BE MULCHED, TYPICALLY 50MM DEPTH. ORGANIC MULCH TO CONFORM TO AS 4454-2012 COMPOST, SOIL CONDITIONERS AND MULCHES.

FERTILISER SHALL BE A SLOW RELEASE PELLETTISED FORM SUITABLE FOR USE WITH AUSTRALIAN NATIVE PLANTS APPLIED AT THE MANUFACTURERS' RECOMMENDED RATE.

SOIL WETTING AGENT SHALL BE "AQUASOIL" OR "WETTASOIL" APPLIED AT A RATE OF 1 LITRE/ 1000 LITRES OF WATER OR EQUIVALENT.

3. SOILS TO CONFORM TO AS 4419-2018 SOILS FOR LANDSCAPING AND GARDENS USE.  
- ON STRUCTURE - MINIMUM 600MM FOR GROUND COVERS AND SHRUBS  
- ON STRUCTURE - MINIMUM 1000MM FOR TREES  
- ON GRADE GARDEN - 450MM

GARDEN SOIL SHALL HAVE A PH BETWEEN 5.5 AND 7.0, EC< 1.2DS/M, 2-5CG/MG RATIO, 5-20MEQ % CEC, AND NUTRIENTS TO AS 3743 POTTING MIXES.

ALL PLANTING SOIL SHALL BE FREE OF RUBBISH, DEBRIS AND SUBSTANCES THAT ARE TOXIC TO LIVING ORGANISMS, OR WOULD OTHERWISE BE DECLARED CONTAMINATED. ALL IMPORTED GARDEN SOIL SHALL BE FREE OF WEED SEEDS.

PLANTING SOIL SHALL NOT BE WATER REPELLENT AND IT SHALL TAKE LESS THAN 63 SECONDS FOR A WATER DROPLET TO SOAK INTO DRY SOIL(REFERENCE: HANDRECK & BLACK).

THE CONTRACTOR SHALL ENSURE ANY INSTALLED SUB GRADES ARE NOT TOXIC TO NORMAL PLANT GROWTH OR UNNATURALLY OVERLY COMPACTED. ENSURE EXISTING SUB SOIL IS NOT TOXIC TO PLANT GROWTH, AND NOTIFY SUPERINTENDENT IMMEDIATELY IF THERE ARE ANY CONCERNS WITH REGARD TO THE SUB SOIL CONDITIONS.

ALL PLANTING SOIL TO BE CONSOLIDATED BUT NOT COMPACTED AND HAVE PARTICLE SIZES GREATER THAN THE SUBSOIL.

4. PLANT SUPPLY - THE PLANTS ARE TO BE VIGOROUS AND APPROPRIATELY ACCLIMATISED WITH A ROOTBALL THAT IS FULL BUT NOT RESTRAINED. TREE STOCK ARE TO BE GROWN AND CERTIFIED AS COMPLYING WITH NATSPEC'S "SPECIFYING TREES - A GUIDE TO ASSESSMENT OF TREE QUALITY", SECOND EDITION 2003 BY ROSS CLARK

PLANT INSTALLATION - THE TOPS OF ROOT BALLS ARE TO BE LEVEL WITH OR UP TO 50MM HIGHER THAN THE SURROUNDING SOIL LEVEL. CREATE WATERING"SAUCERS" AROUND ALL PLANTS FROM POTS LARGER THAN 5 LITRE (IE 200MM DIAMETER). DO NOT PILE UP MULCH AGAINST THE BASE OF THE PLANT STEM/TRUNK.

STAKING - REMOVE ALL NURSERY STAKES, TIES AND LABELS. THE ROOT BALL AND CANOPY ARE TO BE BALANCED AND THE STEM / TRUNK SUFFICIENTLY DEVELOPED SO THAT THE PLANTS STAY UPRIGHT WITHOUT THE NEED TO BE STAKED. DO NOT STAKE PLANTS UNLESS SPECIFICALLY NOTED TO DO SO OR UNLESS SPECIAL CIRCUMSTANCES REQUIRE A PLANT TO BE TEMPORARILY STAKED FOR STABILITY.

5. ALL PLANTING AREAS TO HAVE DRIP IRRIGATION SYSTEM WITH BACK UP PROTECTION TO THE MAIN SUPPLY, TO ALL CURRENT SYDNEY WATERS REQUIREMENTS AND RELEVANT AUSTRALIAN STANDARDS

SUPPLY - DESIGN, SUPPLY AND INSTALL A PERMANENT AUTOMATED SUB-SURFACE IRRIGATION SYSTEM.

EXTENT - THE SYSTEM IS TO COVER ALL NEW GARDENS. WATER IS TO BE DELIVERED VIA SUBSURFACE DRIP LINES BURIED BELOW THE FINISHED GROUND LEVEL TO GARDENS AND TREES AND VIA POPUP SPRAYS ON FLEXIBLE ARMS TO THE LAWN AREA

CAPACITY - THE SYSTEM IS TO BE CAPABLE OF SUPPLYING 32MM OF WATER/WEEK OVER ALL AREAS. I

INSTALLATION - VALVE PITS ARE TO BE SET ON A 200MM DEEP BED OF GRAVEL FOR DRAINAGE. PIT COVERS ARE TO BE LEVEL WITH THE SOIL SURFACE. INCLUDE PLUMBING CONNECTION TO THE MAIN LINE. ALL VALVES AND BACKFLOW PREVENTION. LOCATE A CENTRAL MULTI-STATION CONTROLLER IN A LOCKABLE BOX AS DIRECTED BY THE PROJECT MANAGER . A DEDICATED GPO IS TO BE PROVIDED BY THE BUILDER FOR THE CONTROLLER TO BE PLUGGED INTO.

6. MAINTAIN ALL WORKS DURING THE CONTRACT PERIOD FOR 52 WEEKS FROM THE DATE OF PRACTICAL COMPLETION INCLUDING, BUT NOT LIMITED TO WATERING, MOWING, WEEDING, RUBBISH REMOVAL, REPLACEMENT PLANTING, DISEASE AND PEST CONTROL, PRUNING, SOIL AND MULCH CONTROL,REINSTATEMENT.

7. PROTECT ALL ADJOINING PROPERTY BUILDINGS, WALLS, FENCES AND PAVING. DAMAGED ELEMENTS ARE TO BE REPLACED.

8. THERE ARE TO BE NO SHARP PROTRUSIONS OR ABRASIVE EDGES, OBTUSIVE FITTINGS OR FIXTURES.

9. GENERALLY PAVEMENTS ARE TO FALL AT 1% TO 2% UNLESS NOTED OTHERWISE.

10. PROVIDE CONDUITS THROUGH WALLS / PAVEMENTS AS REQUIRED FOR SERVICES.

11. ALL STRUCTURAL DETAILS OF FOOTINGS, SLABS, WALLS AND THE LIKE ARE TO BE REFERRED TO AN ENGINEER TO PROVIDE DETAILS AND SPECIFICATION.

12. LEVELS SHOWN ARE FINISHED SURFACE LEVELS. GRADE AND TRIM LOCALLY TO ENSURE THE FINISHED SURFACE DRAINS.

13. SOIL LEVELS IN GARDEN AREAS TO FINISH 50MM BELOW ADJACENT WALLS/ PAVEMENTS UNLESS NOTED OTHERWISE.

14. MATERIAL SAMPLES AND PRODUCT INFORMATION- MATERIALS AND WORKMANSHIP ARE TO CONFORM TO THE CURRENT EDITION OF APPLICABLE REQUIREMENTS OF AUSTRALIAN STANDARD SPECIFICATIONS AND CODES.

15. REFER TO ARBORIST REPORT REGARDING RETENTION AND REMOVAL OF TREES

16. GREEN WASTE REMOVAL - ALL GREEN WASTE GENERATED BY THE MAINTENANCE WORK SHALL BE CONTAINED WITHIN THE IMMEDIATE WORK AREA, AND SHALL NOT LEAK INTO ADJACENT AREAS, OR OUTSIDE THE SITE. ALL DEBRIS SHALL BE CONTAINED AND REMOVED FROM SITE TO AN APPROVED CERTIFIED TIPPING AND LEGAL RECYCLING DEPOT LOCATION USING SUITABLE CLOSED WASTE CONTAINERS AND VEHICLES.

MAINTENANCE PLAN

THE OBJECTIVE OF THIS MAINTENANCE PLAN IS TO OUTLINE THE MAINTENANCE REQUIREMENTS OF THE DEVELOPMENT AND ENABLE A DEFINED SCOPE OF MAINTENANCE ACTIVITIES TO BE REGULARLY UNDERTAKEN. A DETAILED MAINTENANCE PLAN TO BE PREPARED AS PART OF THE CONSTRUCTION CERTIFICATE DOCUMENTATION.

MAINTENANCE INCLUDE WATERING, WEEDING, MOWING PEST AND DISEASE CONTROL, REPLACING FAILED PLANTS, SOIL AND MULCH REPLENISHMENT, CULTIVATING, PRUNING, REPAIRING EROSION AND RECTIFYING STORM DAMAGE, SWEEP AND/OR REMOVE FALLEN BRANCHES AND LEAF LITTER(INCLUDING THE AUTUMN LEAF DROP) AND OTHER GARDEN DEBRIS, MAINTENANCE OF THE SITE IS TO ALSO INCLUDE THE PUBLIC DOMAIN

IT IS EXPECTED THAT THE CONTRACTOR SHALL TAKE A PROACTIVE AND DILIGENT APPROACH TO ALL MAINTENANCE ACTIVITIES AND ENCOURAGE ALL STAFF AND SUB-CONTRACTORS TO PICKUP ANY OBVIOUS LITTER FOUND THROUGHOUT THE MAINTAINED AREAS. SIMILARLY BE VIGILANT IN LOOKING FOR AND REPORTING ANY NOTED INCIDENCE OF VANDALISM, BREAKAGES, DAMAGE AND GRAFFITI ETC.

LOG BOOK  
KEEP A LOGBOOK RECORDING WHEN AND WHAT MAINTENANCE WORK HAS BEEN DONE AND WHAT MATERIALS, INCLUDING TOXIC MATERIALS, HAVE BEEN USED. THIS LOG BOOK IS TO BE GIVEN TO THE PROJECT MANAGER/ OR COMMUNITY ASSOCIATION AND MADE AVAILABLE FOR INSPECTION ON REQUEST.

PROGRAM  
AT LEAST TWO WEEKS PRIOR TO PRACTICAL COMPLETION SUBMIT A PROGRAM OUTLINING PROPOSED MAINTENANCE REGIME DURING THE PLANT ESTABLISHMENT PERIOD, INCLUDING ANTICIPATED FREQUENCY AND DURATION OF INDIVIDUAL TASKS. REVISE PROGRESSIVELY TO ENSURE THE OPTIMAL MAINTENANCE REGIME IS IMPLEMENTED AND SUBMIT ON A MONTHLY BASIS.

ALL PLANTED AREAS SHALL BE ADEQUATELY WATERED TO KEEP THEM HEALTHY AND GROWING VIGOROUSLY. THE MINIMUM ACCEPTABLE WATERING REQUIREMENT SHALL EQUAL 25 MM OF NATURAL RAINFALL OR ITS APPLIED EQUIVALENT, OR A COMBINATION OF BOTH , DURING EACH PERIOD OF ONE WEEK, EXCEPT IN PERIODS OF HEAVY RAIN. VARY THE WATERING REQUIREMENT TO SUIT SEASONAL CONDITIONS AND MAINTAIN HEALTHY PLANT MATERIAL AND GRASS AREAS IN OPTIMUM CONDITION.

PEST AND DISEASE  
ALL LANDSCAPE AREAS INCLUDING TREES ARE TO BE VISUALLY INSPECTED FOR THE PRESENCE OF PERSISTENT AND DAMAGING INSECT PESTS OR DISEASES. THE CONTRACTOR SHALL REPORT ANY INCIDENCE OF INSECT ATTACK OR EVIDENCE OF DISEASE AMONGST PLANT MATERIAL ALONG WITH A RECOMMENDED CONTROL AND ACTION TO BE UNDERTAKEN

FERTILISING  
FERTILIZER SHALL BE SUPPLIED AND APPLIED EVENLY TO ALL LANDSCAPE AREAS ENSURE OPTIMUM PLANT GROWTH, HEALTH AND DISEASE RESISTANCE THROUGH THE PROVISION OF ALL ESSENTIAL MACRO AND MICRO NUTRIENTS COMMONLY REQUIRED BY PLANTS AND THEREBY PREVENT ANY SYMPTOMS ASSOCIATED WITH NUTRIENT DEFICIENCIES.

EXTENT AND TASK  
THE CONTRACTOR SHALL MONITOR ALL TREE AND ASSOCIATED LANDSCAPE WORKS FOR THE DURATION OF THE MAINTENANCE PERIOD. THIS WILL GENERALLY INCLUDING WATERING, FAILED PLANT REPLACEMENT , PEST AND DISEASE CONTROL, PRUNING, SOIL CONTROL, MOWING, WEED CONTROL, SOIL PH CORRECTION AND FERTILIZATION. CARRY OUT MAINTENANCE ACTIVITIES FOR ALL NEW GARDEN AREAS AS REQUIRED TO ENSURE THE PLANT BECOME ESTABLISHED WITHIN THE MAINTENANCE PERIOD AND ARE KEPT IN A HEALTHY AND TIDY STATE IN ACCORDANCE WITH BEST HORTICULTURAL PRACTICES.

PLANT REPLACEMENT  
SHALL BE UNDERTAKEN WITHIN 7 DAYS OF PLANT BEING IDENTIFIED AS FAILED OR UNACCEPTABLY DAMAGED. NOTE, SERVE WILTING OR WATER LOGGING LEADING TO DEATH OF FOLIAGE, BREAKAGE OR WOUNDING OF MAIN STEM, DAMAGE OF APICAL LEADERS OR DAMAGE TO SIGNIFICANT ORDER OF BRANCHES SHALL BE DEEMED TO CONSTITUTE FAILURE.

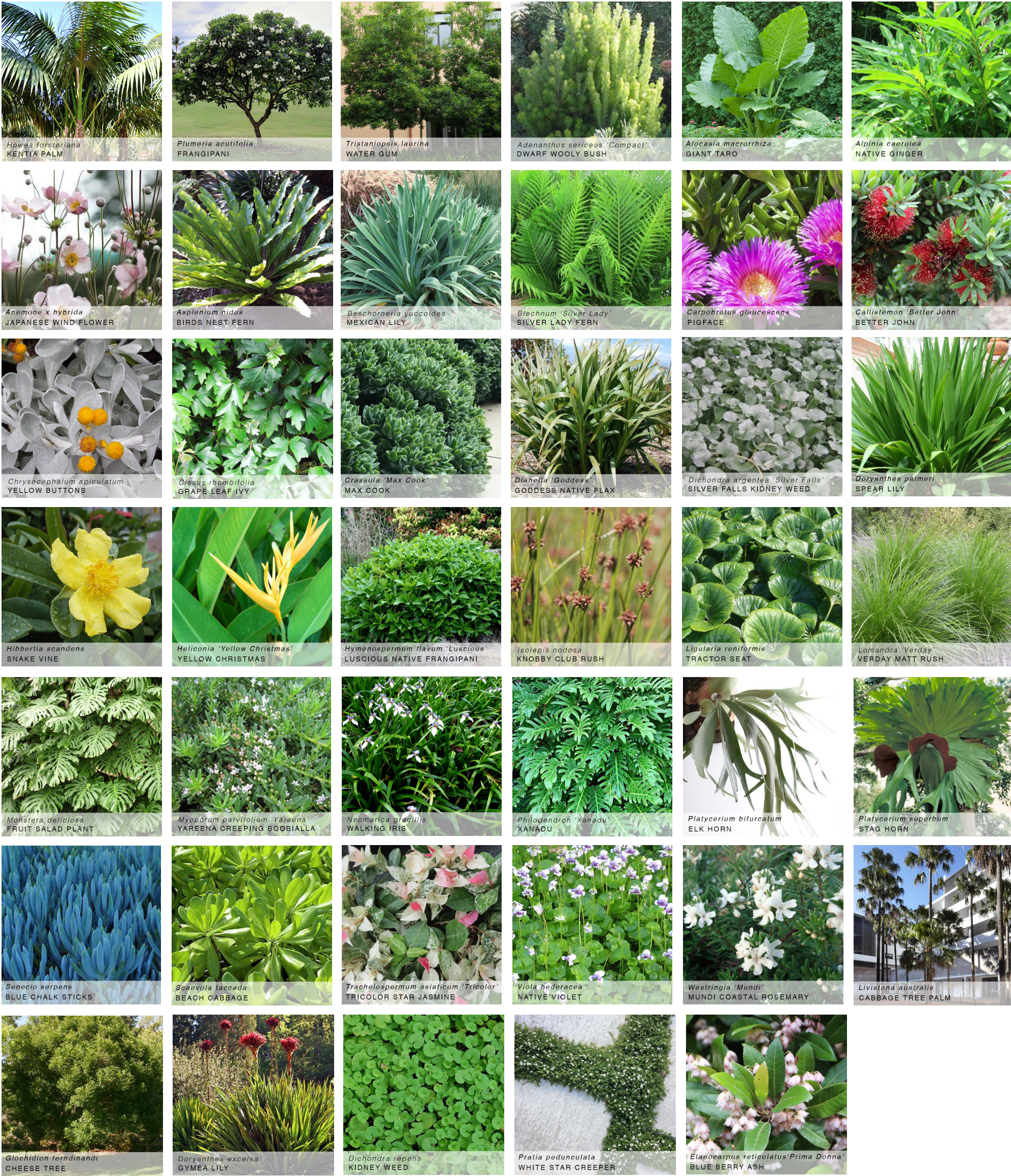
HARDSCAPE / FURNITURE AND FIXINGS  
ENSURE ALL EXTERNAL HARDSCAPE AREAS INCLUDING FURNITURE AND FIXINGS ARE MAINTAINED IN A SAFE, CLEAN, NEAT AND TIDY CONDITION THAT PROMOTES THEIR USE AND ENJOYMENT. INSPECT ALL HARDSCAPE AND FURNITURE AND FIXTURES ITEMS FOR DAMAGE OR VANDALISM AND REPORT ANY FAULTS OR DAMAGE. MAKE ARRANGEMENT TO FIX ANY MINOR ISSUES.

IRRIGATION  
REGULARLY INSPECT, MONITOR AND ADJUST IRRIGATION AND WATERING SYSTEM TO ENSURE PROPER OPERATION AND COVERAGE AND RECTIFY ANY LEAKS, BLOCKAGES OR BREAKAGES IN A TIMELY FASHION. IF REQUIRED, UNDERTAKE PRESSURE TESTING OR FLUSHING TO IDENTIFY AND/OR ADDRESS ANY SYSTEM MALFUNCTION. THE CONTRACTOR SHALL REPAIR THE SYSTEM DUE TO VANDALISM, UNAUTHORIZED USE AND BREAKAGE. IF VANDALISM OR BREAKAGE IS A PERSISTENT OR A LARGE-SCALE PROBLEM, THE CONTRACTOR SHALL KEEP A RECORD OF COMPONENTS REPLACED OR RECTIFIED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SUPPLEMENTARY WATERING DUE TO ANY INADEQUACIES WITH THE SYSTEM, AND ADDRESS LEAKS IMMEDIATELY.

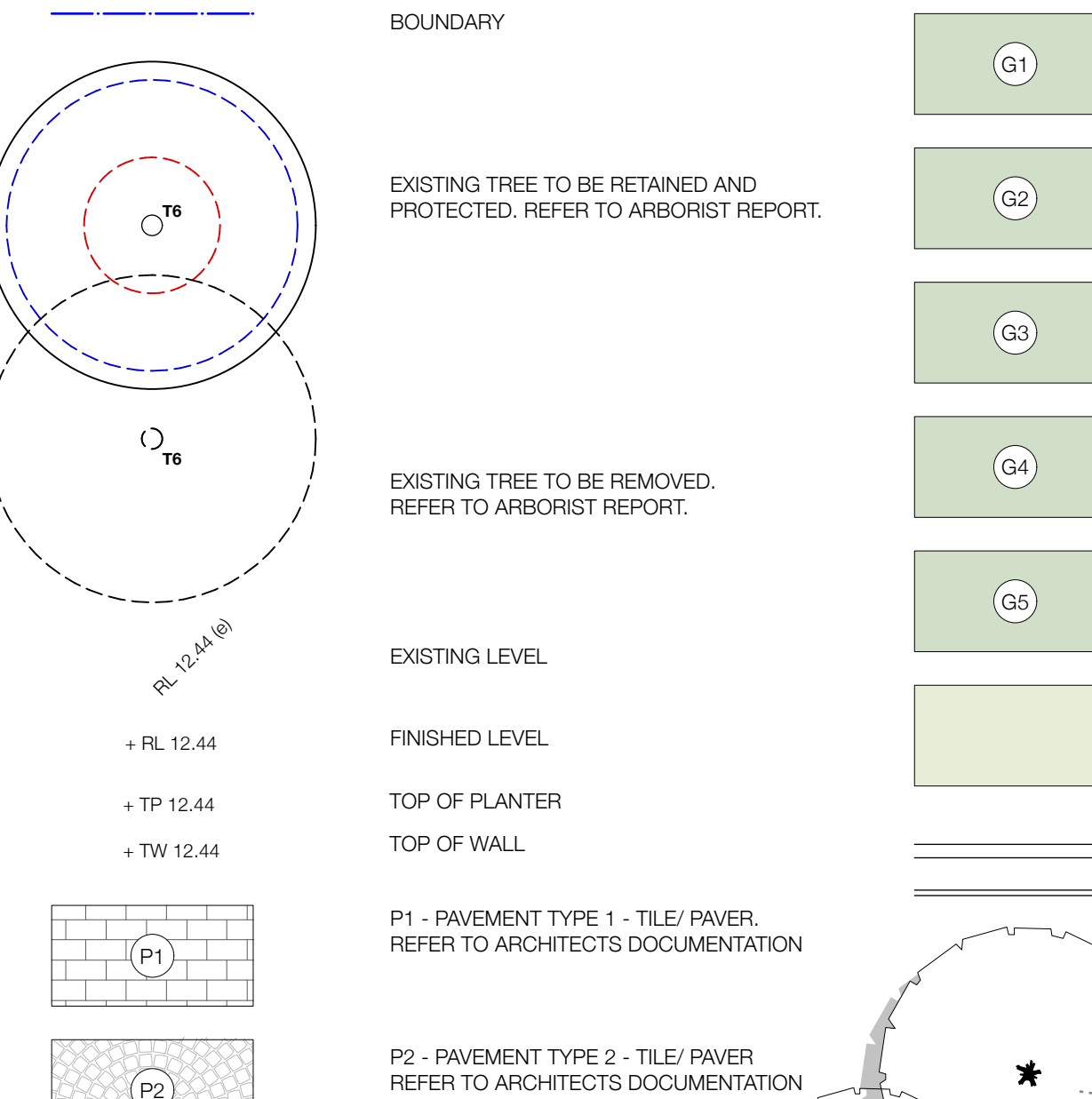
PLANT SCHEDULE

| BOTANICAL NAME                           | COMMON NAME                 | HEIGHT | POT SIZE   | QTY      | NATIVE |
|--|-----------------------------|--------|------------|----------|--------|
| TREES                                    |                             |        |            |          |        |
| <i>Howea forsteriana</i>                 | Kentia Palm                 | 12M    | 1-3M (CTH) | as shown | N      |
| <i>Elaeocarpus 'Prima Donna'</i>         | Blue Berry Ash              | 8M     | 75L        | as shown | N      |
| <i>Glochidion ferdinandii</i>            | Cheese Tree                 | 10M    | 200L       | as shown | N      |
| <i>Plumeria acutifolia</i>               | Francipani                  | 6M     | 400L       | as shown |        |
| <i>Livistona australis</i>               | Cabbage Tree Palm           | 15M    | 1-3M (CTH) | as shown | N      |
| <i>Tristanopsis laurina</i>              | Water Gum                   | 8M     | 200L       | as shown | N      |
| SHRUBS AND CLIMBERS                      |                             |        |            |          |        |
| <i>Adenanthos sericeus</i>               | Woolly Bush                 | 2.5M   | 300MM      | 5/m2     | N      |
| <i>Alocassia macrorrhiza</i>             | Giant Taro                  | 3M     | 300MM      | 2/m2     |        |
| <i>Alpinia caerulea</i>                  | Native Ginger               | 3M     | 300MM      | 2/m2     | N      |
| <i>Anenome x hybrida</i>                 | Anenome                     | 0.6M   | 150MM      | 5/m2     |        |
| <i>Asplenium nidus</i>                   | Birds Nest Fern             | 0.8M   | 200MM      | 3/m2     | N      |
| <i>Beschoermia yuccoides</i>             | Mexican Lily                | 1M     | 300MM      | 2/m2     |        |
| <i>Blechnum nudum 'Silver Lady'</i>      | Fishbone Fern               | 0.6M   | 200MM      | 3/m2     | N      |
| <i>Callistemon 'Better John'</i>         | Better John Bottlebrush     | 1M     | 200MM      | 3/m2     | N      |
| <i>Carphobrotus glaucescens</i>          | Pia Face                    | 0.2M   | 150MM      | 5/m2     | N      |
| <i>Chrysocochalum apiculatm</i>          | Yellow Buttons              | 0.1M   | 150MM      | 7/m2     | N      |
| <i>Cissus rhombifolia</i>                | Grape Ivy                   | 0.2M   | 150MM      | 5/m2     | N      |
| <i>Crassula 'Max Cook'</i>               | Jade Plant                  | 0.8M   | 200MM      | 2/m2     |        |
| <i>Dianella 'Green Goddess'</i>          | Green Goddess               | 0.5M   | 150MM      | 5/m2     | N      |
| <i>Dichondra argentea 'Silver Falls'</i> | Silver Falls Kidney Weed    | 0.1M   | 150MM      | 7/m2     |        |
| <i>Dichondra repens</i>                  | Kidney Weed                 | 0.1M   | 150MM      | 7/m2     | N      |
| <i>Dorvanthes excelsa</i>                | Gymea Lily                  | 2M     | 300MM      | 2/m2     | N      |
| <i>Dorvanthes palmeri</i>                | Spear Lily                  | 2M     | 300MM      | 2/m2     | N      |
| <i>Heliconia 'Yellow Christmas'</i>      | Yellow Christmas            | 2M     | 300MM      | 2/m2     |        |
| <i>Hibbertia scandens</i>                | Climbing Guinea Flower      | 4M     | 200MM      | 5/m2     | N      |
| <i>Hymenosporum 'Lushious'</i>           | Lushious Native Franci Pani | 0.8M   | 200MM      | 2/m2     | N      |
| <i>Isolais nodosa</i>                    | Knobby Club Rush            | 0.8M   | 150MM      | 5/m2     | N      |
| <i>Liatularia reniformis</i>             | Tractor Seat Plant          | 0.6M   | 200MM      | 3/m2     |        |
| <i>Lomandra 'Verday'</i>                 | Verday                      | 0.6M   | 150MM      | 5/m2     | N      |
| <i>Monstera deliciosa</i>                | Swiss Cheese Plant          | 0.8M   | 200MM      | 3/m2     |        |
| <i>Myoporum parvifolium</i>              | Creeping Boobiala           | 0.3M   | 150MM      | 3/m2     | N      |
| <i>Neomarcia gracilis</i>                | Walking Iris                | 0.8M   | 150MM      | 3/m2     |        |
| <i>Philodendron 'Xanadu'</i>             | Xanadu Philodendron         | 0.8M   | 300MM      | 3/m2     |        |
| <i>Platycerium bifurcatum</i>            | Elk Horn                    | 1M     | 200MM      | 2/m2     | N      |
| <i>Platycerium superbum</i>              | Stag Horn                   | 1M     | 200MM      | 2/m2     | N      |
| <i>Pratia pedunculata</i>                | White Star Creeper          | 0.1M   | 150MM      | 7/m2     | N      |
| <i>Scaevola taccada</i>                  | Beach naupata               | 0.8M   | 200MM      | 3/m2     |        |
| <i>Senecio serpens</i>                   | Blue Chalk Sticks           | 0.2M   | 150MM      | 5/m2     |        |
| <i>Trachelosporum 'Tricolor'</i>         | Tricolor Jasmine            | 0.2M   | 150MM      | 5/m2     |        |
| <i>Viola hederacea</i>                   | Native Violet               | 0.1M   | 150MM      | 7/m2     | N      |
| <i>Westringia 'Mundi'</i>                | Mundi                       | 0.5M   | 200MM      | 3/m2     | N      |

A B C D E



LEGEND



G1 - GARDEN ON GRADE AND IRRIGATION EXTENT (DRIP IRRIGATION)

G2 - RAISED GARDEN ON GRADE AND IRRIGATION EXTENT (DRIP IRRIGATION)

G3 - GARDEN ON STRUCTURE (600MM SOIL DEPTH) AND IRRIGATION EXTENT (DRIP IRRIGATION)

G4 - GARDEN ON STRUCTURE (1000MM SOIL DEPTH) AND IRRIGATION EXTENT (DRIP IRRIGATION)

G5 - GARDEN ON STRUCTURE (300MM SOIL DEPTH) AND IRRIGATION EXTENT (DRIP IRRIGATION)

LAWN

PROPOSED PLANTER / RETAINING WALL. REFER TO ARCHITECTS DOCUMENTATION

PROPOSED TREES, SHRUBS AND GROUNDCOVERS AS NOTED

| REV: | DATE:    | DOCUMENT STATUS/ AMENDMENTS           |
|------|----------|---------------------------------------|
| 02   | 23.08.21 | FOR COORDINATION                      |
| 03   | 30.08.21 | FOR DA                                |
| 04   | 29.06.22 | FOR APPROVAL                          |
| 05   | 30.08.22 | FOR APPROVAL                          |
| 06   | 13.09.22 | FOR APPROVAL - COURT AMENDED DRAWINGS |



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PROJECT

Residential Development  
30 Fairlight street,  
FAIRLIGHT, NSW

DRAWING TITLE

NOTES / LEGEND / PLANT SCHEDULE

Drawn IK / GB

L.Architect Authorised  
IK / GB

Scale  
1:100 @ A1

JOB NUMBER  
BB 1294

Client

30 Fairlight Pty Limited

Status

Development Application

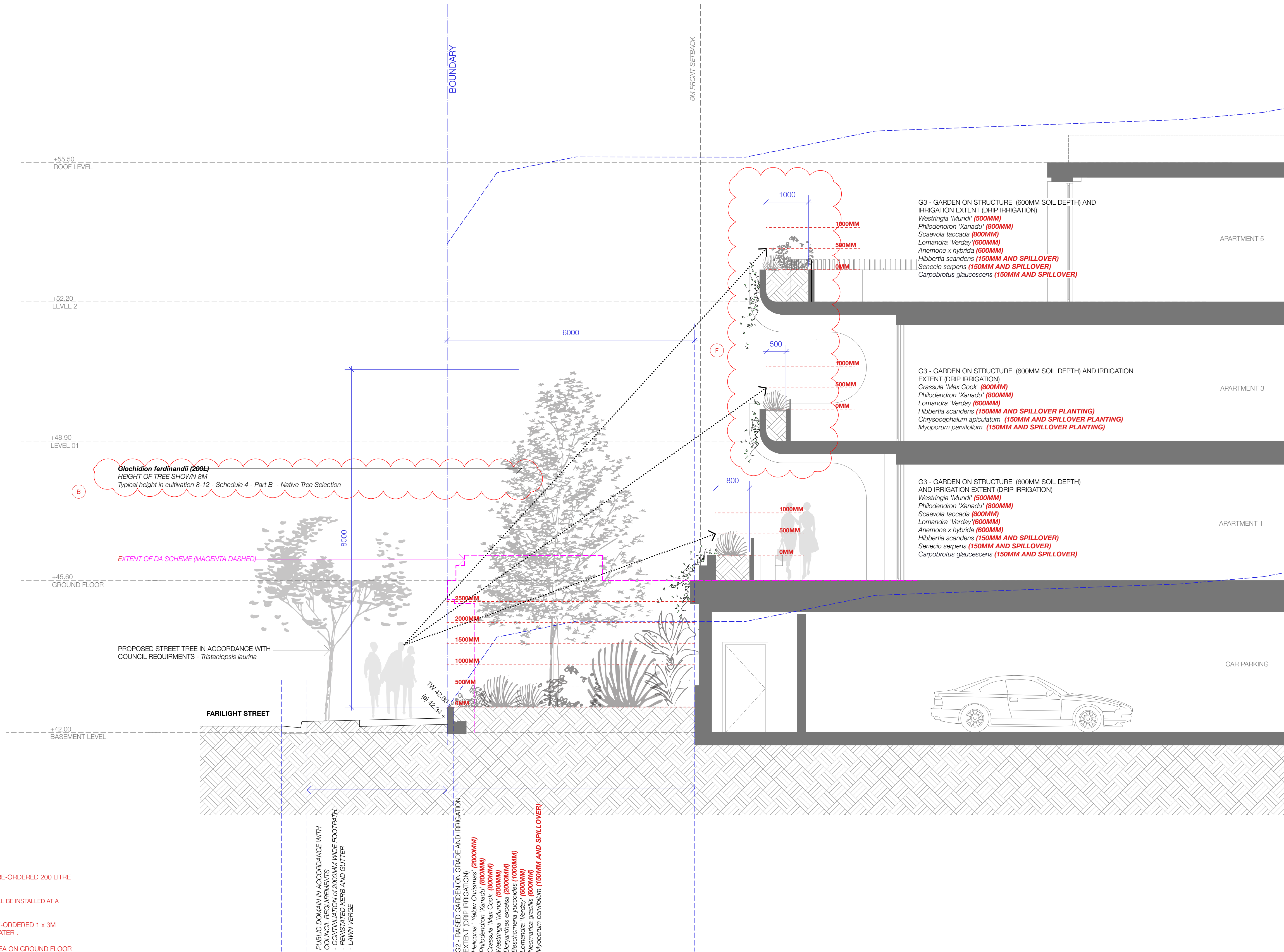
DRAWING NUMBER / ISSUE  
LA LP 04/ 06

THIS PLAN IS TO BE READ IN  
CONJUNCTION WITH  
THE CONDITIONS OF DEVELOPMENT  
CONSENT

DA2021/2034

NOT FOR CONSTRUCTION





AMENDMENTS

A. *Tristanopsis laurina* SHALL BE INSTALLED AT A PRE-ORDERED 200 LITRE CONTAINER SIZE WITH TREE PROTECTION STAKING.

B. *Tristanopsis laurina* and *Glochidion ferdinandii* SHALL BE INSTALLED AT A PRE-ORDERED 200 LITRE CONTAINER SIZE.

C. *Livistona australis* SHALL BE INSTALLED AT A PRE-ORDERED 1 x 3M CLEAR TRUNK, and 1 x 1.5M CLEAR TRUNK OR GREATER.

D. PAVERS/SLABS ACCESS OVER DEEP SOIL AREA ON GROUND FLOOR RELOCATED AGAINST BUILDING WALL - ADDITIONAL SMALL NATIVE TREE PLANTING OF 3 x *Elaeocarpus reticulatus* 'Prima Donna' AT A MINIMUM 75L CONTAINER SIZE.

E. NOMINATED *Howea forsteriana* PLANTING GROUP IN 1M DEEP PLANTER EAST OF WALL - ADDITIONAL SMALL NATIVE TREE PLANTING OF 2 x *Elaeocarpus reticulatus* 'Prima Donna' AT A MINIMUM 75L CONTAINER SIZE.

F. INTERNAL PLANTER WALL WIDTH MINIMUM 500MM IN ACCORDANCE WITH MAINLY DCP REQUIREMENTS - EXCLUDING THE LEVEL 2 PLANTER OUTSIDE OF KITCHEN DESIGNED TO TAPER.



| REV: | DATE:    | DOCUMENT STATUS/ AMENDMENTS           |
|------|----------|---------------------------------------|
| 01   | 30.08.22 | FOR APPROVAL                          |
| 01   | 13.09.22 | FOR APPROVAL - COURT AMENDED DRAWINGS |
|      |          |                                       |
|      |          |                                       |
|      |          |                                       |

REFER TO LA LP 04 FOR LEGEND, NOTES AND PLANT SCHEDULE

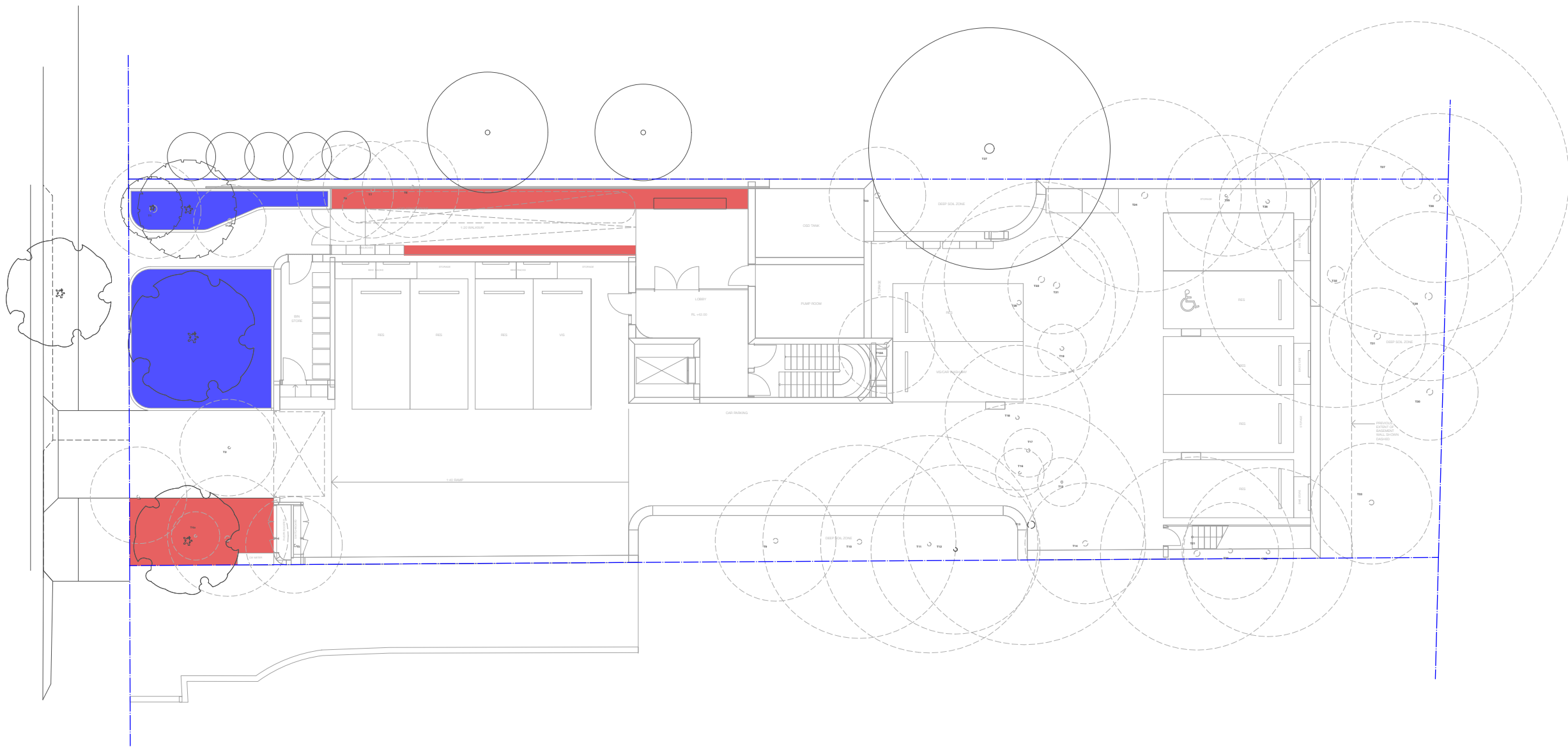
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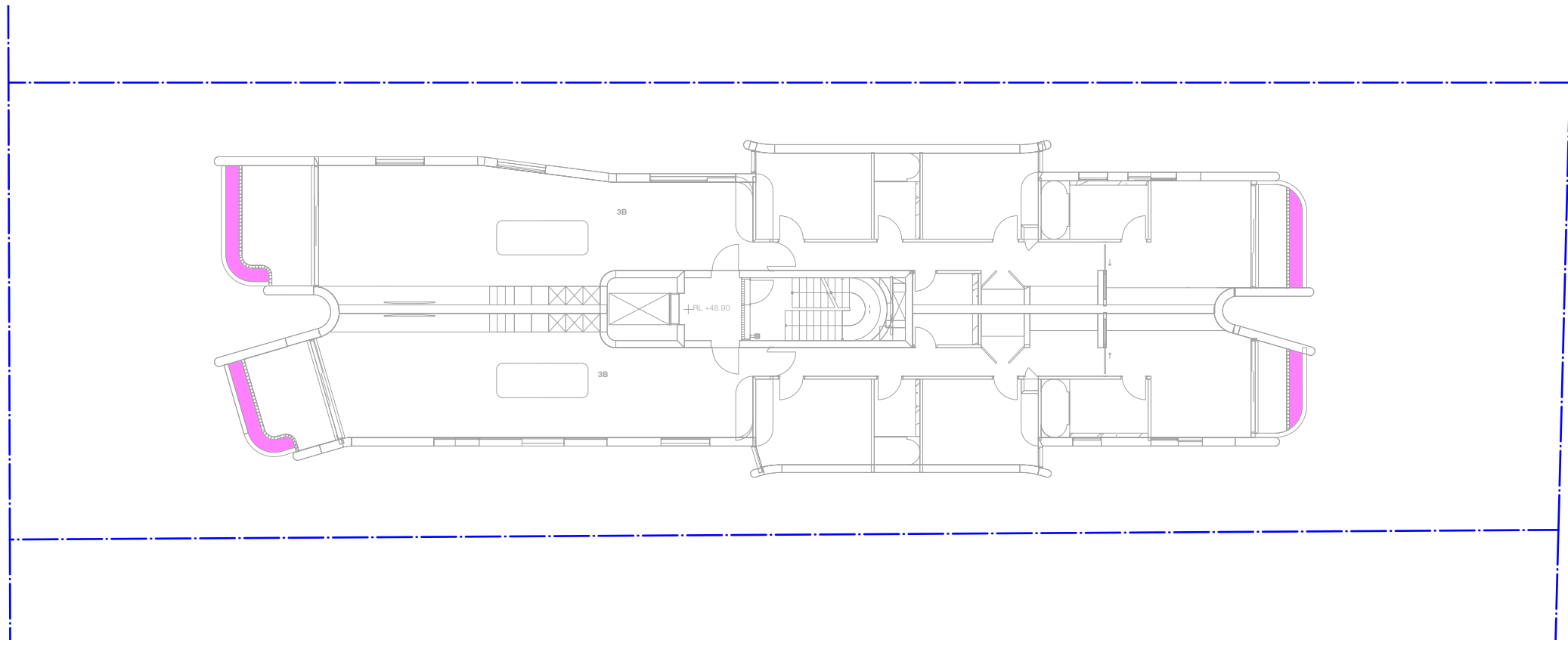
|  |  |  |
|--|--|--|
| PROJECT<br>Residential Development<br>30 Fairlight street,<br>FAIRLIGHT, NSW | Drawn IK / GB<br>L.Architect Authorised<br>IK / GB | Client<br>30 Fairlight Pty Limited     |
|  | Scale<br>1:50 @ A1                                 | Status<br>Development Application      |
|  | JOB NUMBER<br>BB 1294                              | DRAWING NUMBER / ISSUE<br>LA LP 05/ 02 |

NOT FOR CONSTRUCTION

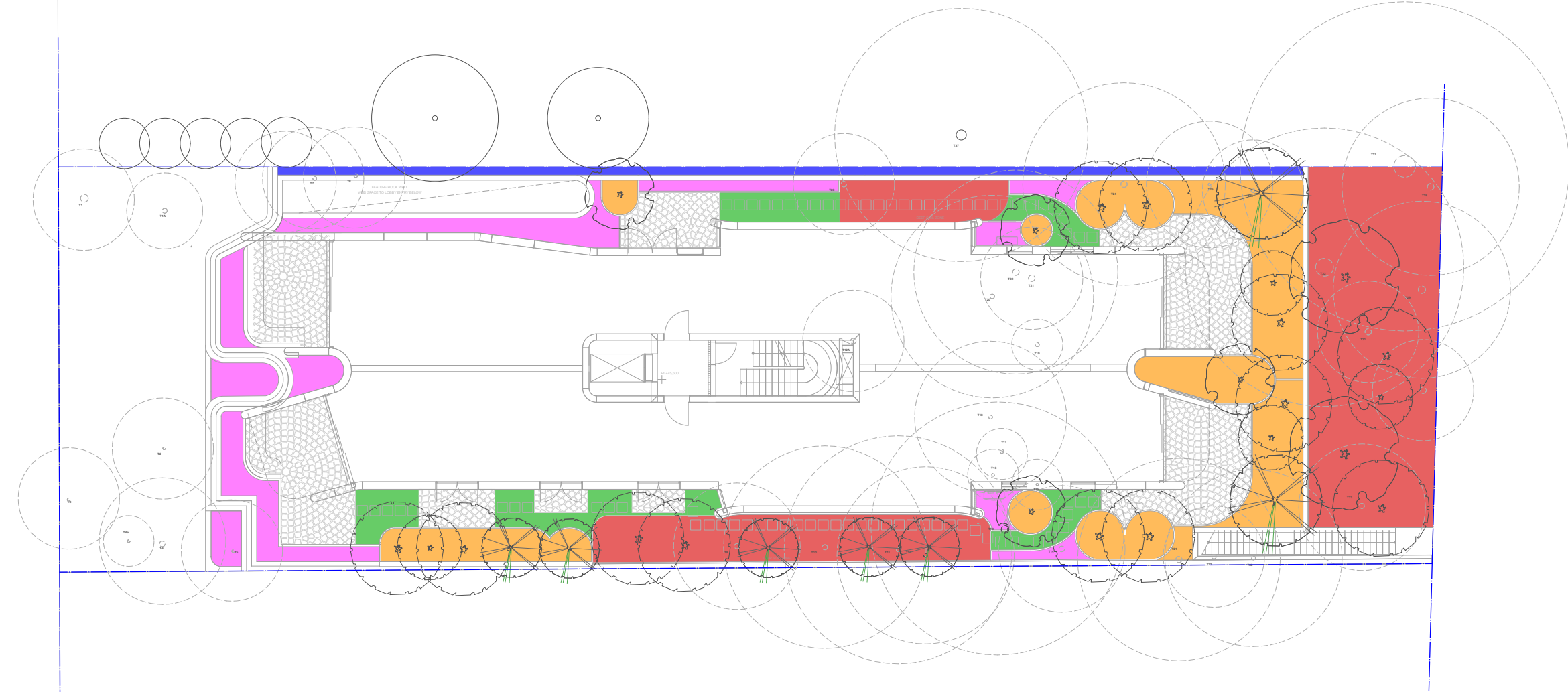




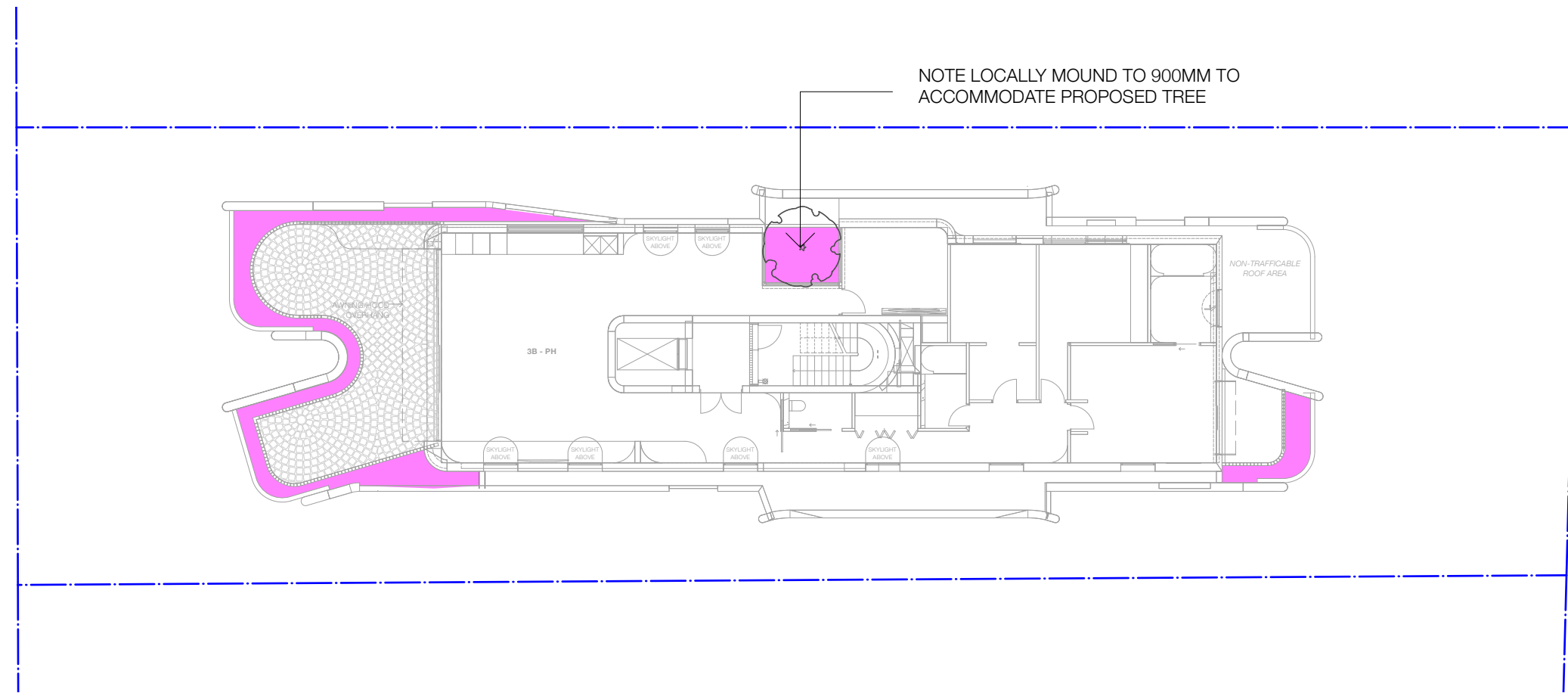
01 BASEMENT LEVEL  
Scale 1:200 @ A1



03 LEVEL 01  
Scale 1:200 @ A1



02 GROUND LEVEL  
Scale 1:200 @ A1



04 LEVEL 02  
Scale 1:200 @ A1

LEGEND

- GARDEN ON GRADE (DEEP SOIL)
- RAISED GARDEN ON GRADE (DEEP SOIL)
- GARDEN ON STRUCTURE (600MM SOIL DEPTH)
- GARDEN ON STRUCTURE (1000MM SOIL DEPTH)
- GARDEN ON STRUCTURE (300MM SOIL DEPTH)

AMENDMENTS

- A. *Tristanopsis laurina* SHALL BE INSTALLED AT A PRE-ORDERED 200 LITRE CONTAINER SIZE WITH TREE PROTECTION STAKING.
- B. *Tristanopsis laurina* and *Glochidion ferdinandi* SHALL BE INSTALLED AT A PRE-ORDERED 200 LITRE CONTAINER SIZE.
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northern beaches council

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

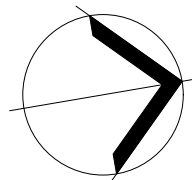
DA2021/2034

NOT FOR CONSTRUCTION

| REV: | DATE:    | DOCUMENT STATUS/ AMENDMENTS           |
|------|----------|---------------------------------------|
| 01   | 30.08.22 | FOR APPROVAL                          |
| 02   | 13.09.22 | FOR APPROVAL - COURT AMENDED DRAWINGS |
|      |          |                                       |
|      |          |                                       |

REFER TO LA LP 04 FOR LEGEND, NOTES AND PLANT SCHEDULE

NORTH



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PROJECT  
Residential Development  
30 Fairlight street,  
FAIRLIGHT, NSW

DRAWING TITLE  
LANDSCAPE PLAN  
- SOIL DEPTHS

Drawn IK / GB  
L.Architect Authorised  
IK / GB  
Scale  
1:200 @ A1

JOB NUMBER  
BB 1294

Client  
30 Fairlight Pty Limited  
Status  
Development Application

DRAWING NUMBER / ISSUE  
LA LP 06/ 02



PIPEWORK

|         |   |
|---------|---|
| STW     | STORMWATER                                      |
| SS      | SUBSOIL   |
| DP      | DOWNPIPE  |
| RD      | ROOF DRAINAGE                                   |
|         | EXISTING SERVICE                                |
| X-X-X-X | EXISTING SERVICE TO BE DISCONNECTED AND REMOVED |

PIPEWORK SYMBOLS

|       |                              |
|-------|------------------------------|
| R     | RISER                        |
| D     | DROPPER                      |
| COF   | CAPPED OFF                   |
| HP    | HORIZONTAL PENETRATION       |
| DOF   | DIRECTION OF FLOW            |
| NC    | NEW CONNECTION               |
| C     | CONTINUATION                 |
| MH    | MAN HOLE                     |
| IO    | INSPECTION OPENING           |
| STWIP | STORMWATER KERB INLET PIT    |
| STWIP | STORMWATER INLET PIT         |
| GRD   | GRATED DRAIN                 |
| SO    | SAFETY OVERFLOW              |
| SP    | SPREADER                     |
| RWO   | RAINWATER OUTLET             |
| BRWO  | BALCONY RAINWATER OUTLET     |
| PRWO  | PLANTER RAINWATER OUTLET     |
| SRWO  | SPOON DRAIN RAINWATER OUTLET |

ABBREVIATIONS

|      |                                  |
|------|----------------------------------|
| FFL  | FINISH FLOOR LEVEL               |
| IL   | INVERT LEVEL                     |
| RL   | REDUCED LEVEL                    |
| UPVC | UNPLASTICIZED POLYVINYL CHLORIDE |
| NTS  | NOT TO SCALE                     |
| UNO  | UNLESS NOTED OTHERWISE           |
| SQ   | SQUARE                           |
| mm   | MILLIMETRES                      |
| m    | METRES                           |
| m2   | SQUARE METRES                    |
| m3   | CUBIC METRES                     |
| /sec | PER SECOND                       |
| MIN  | MINIMUM                          |
| MAX  | MAXIMUM                          |
| APPR | APPROXIMATELY                    |
| DIA  | DIAMETER                         |
| EX   | EXISTING                         |
| AHD  | AUSTRALIAN HEIGHT DATUM          |

STORMWATER GENERAL NOTES

ALL IN ACCORDANCE WITH COUNCIL'S STORMWATER REQUIREMENTS

PIPEWORK DESIGN

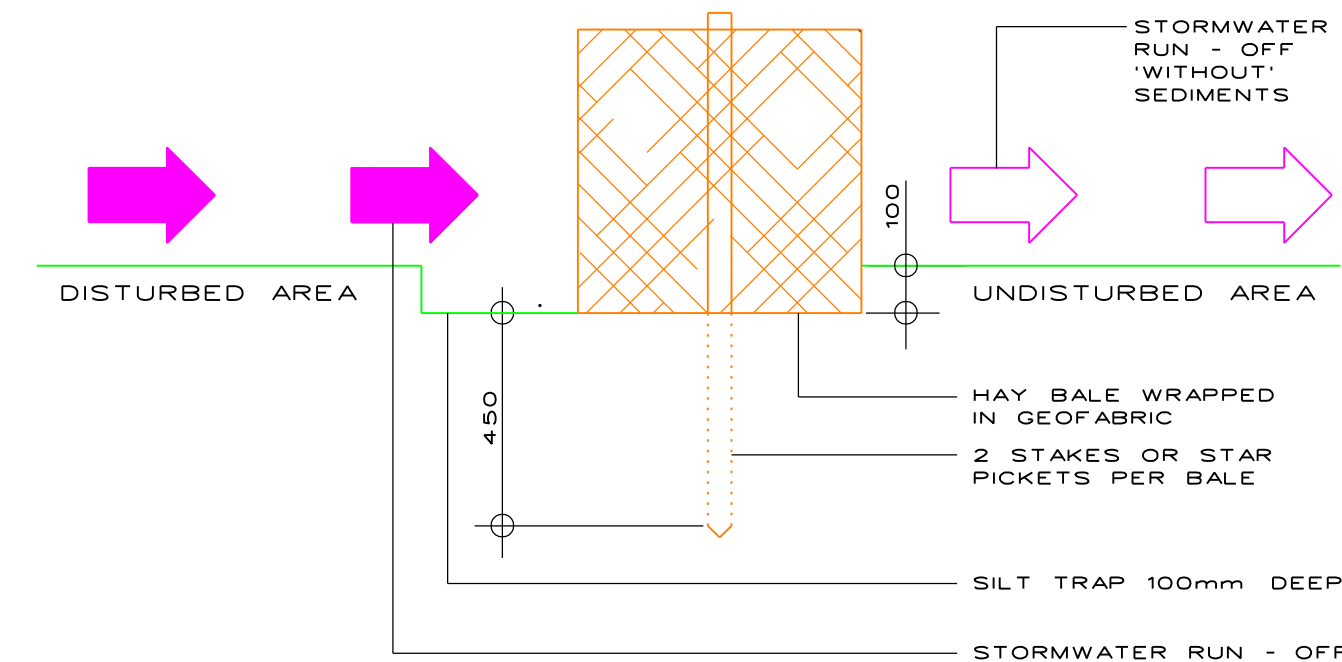
ALL PIPEWORK IS SIZED AND DESIGNED TO HANDLE A 1:100 YEAR EVENT RAINFALL

PIPEWORK

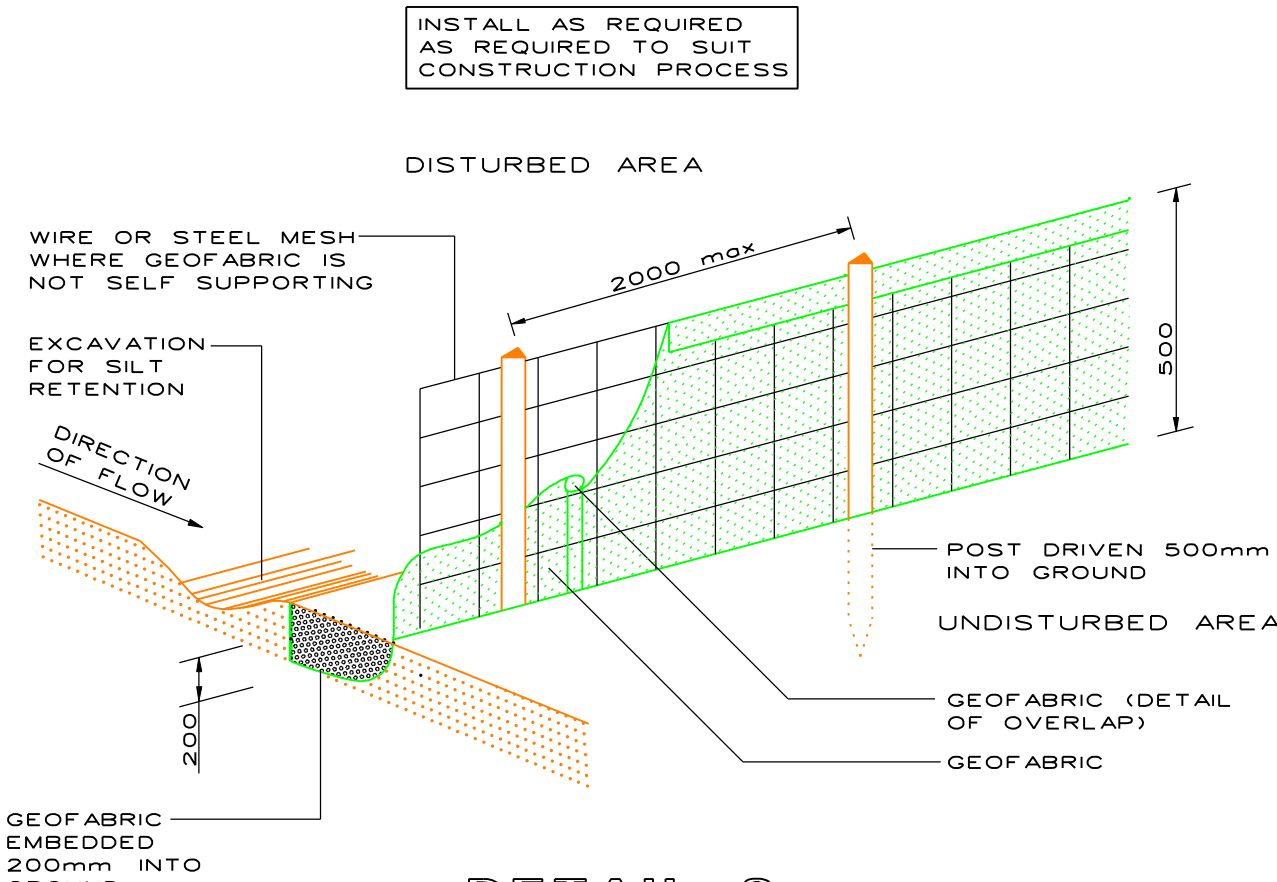
ALL PIPEWORK TO BE 100mm @ 1% FALL (UNO)

STORMWATER PIT SIZES

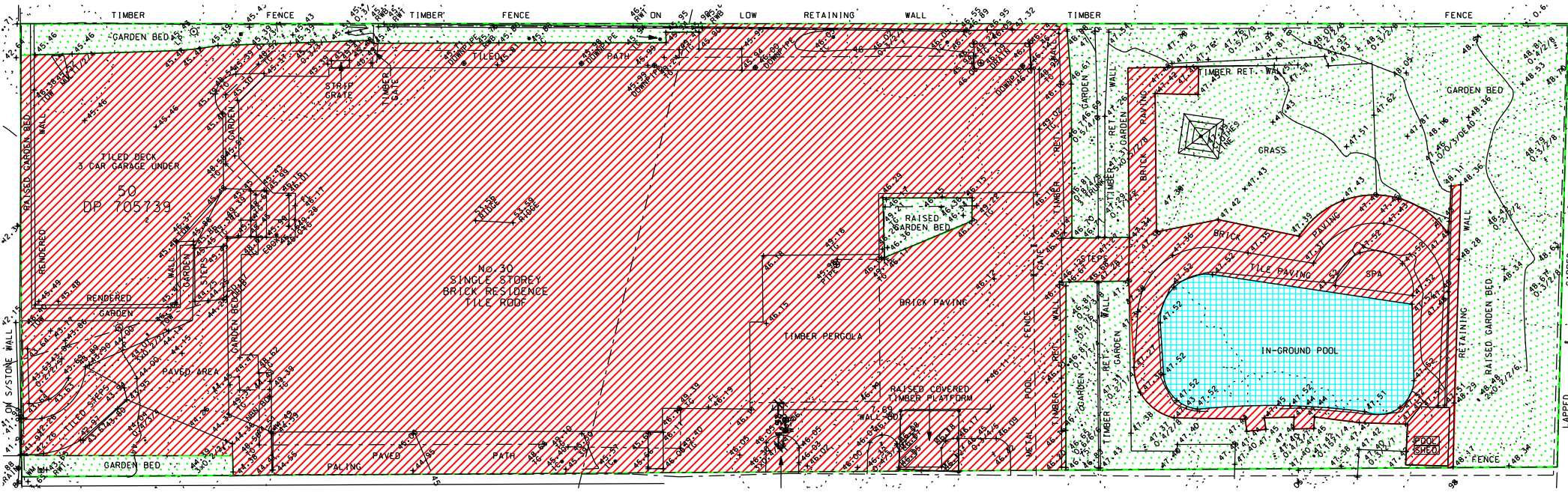
| MINIMUM INTERNAL MEASUREMENTS: |                   |                    |          |                    |
|--------------------------------|-------------------|--------------------|----------|--------------------|
| DEPTH TO BASE OF CHAMBER       | RECTANGULAR WIDTH | RECTANGULAR LENGTH | CIRCULAR | LADDER / STEP IRON |
| SMALLER THAN 600               | 450               | 450                | 600      | NO                 |
| 601 TO 900                     | 600               | 600                | 900      | NO                 |
| 901 TO 1200                    | 600               | 900                | 1050     | NO                 |
| GREATER THAN 1200              | 900               | 900                | 1050     | YES                |



DETAIL 1: HAY BALE BARRIER  
NTS

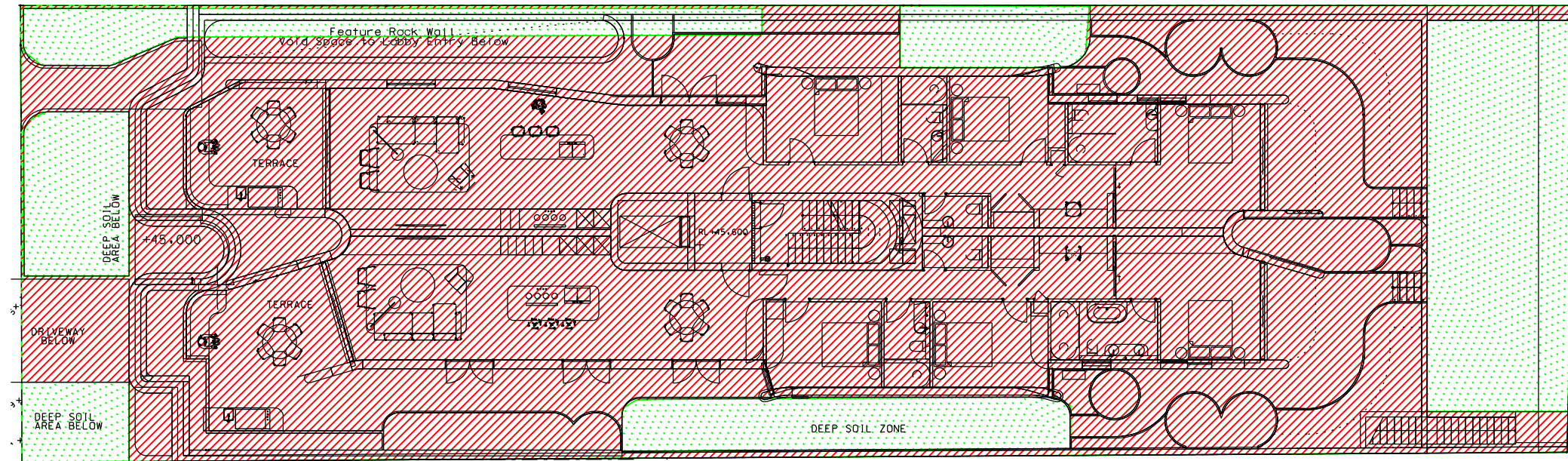


DETAIL 2: SILT FENCE  
NTS



| SYMBOL | CATCHMENT            | IMPERVIOUS AREA | PERVIOUS AREA | PERCENTAGE |
|--------|----------------------|-----------------|---------------|------------|
|        | ROOF & PAVED AREAS   | 598.8m2         | -             | 69.5%      |
|        | DEEPSOIL LANDSCAPING | -               | 225.9m2       | 26.2%      |
|        | POOL                 |                 | 37.0m2        | 4.3%       |
| TOTAL  |                      | 861.7m2         |               | 100%       |

PRE DEVELOPED CATCHMENT AREAS



| SYMBOL | CATCHMENT            | IMPERVIOUS AREA | PERVIOUS AREA | PERCENTAGE |
|--------|----------------------|-----------------|---------------|------------|
|        | ROOF AND PAVED AREAS | 688.3m2         | -             | 79.8%      |
|        | DEEPSOIL LANDSCAPING | -               | 173.4m2       | 20.2%      |
| TOTAL  |                      | 861.7m2         |               | 100%       |

POST DEVELOPED CATCHMENT AREAS

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT  
DA2021/2034

TYPICAL NOTE: EXISTING WALL / FENCE (PREVENTS RUN OFF ONTO NEIGHBOURING PROPERTY)

TYPICAL NOTE: OVERLAND FLOW WITH SEDIMENTS

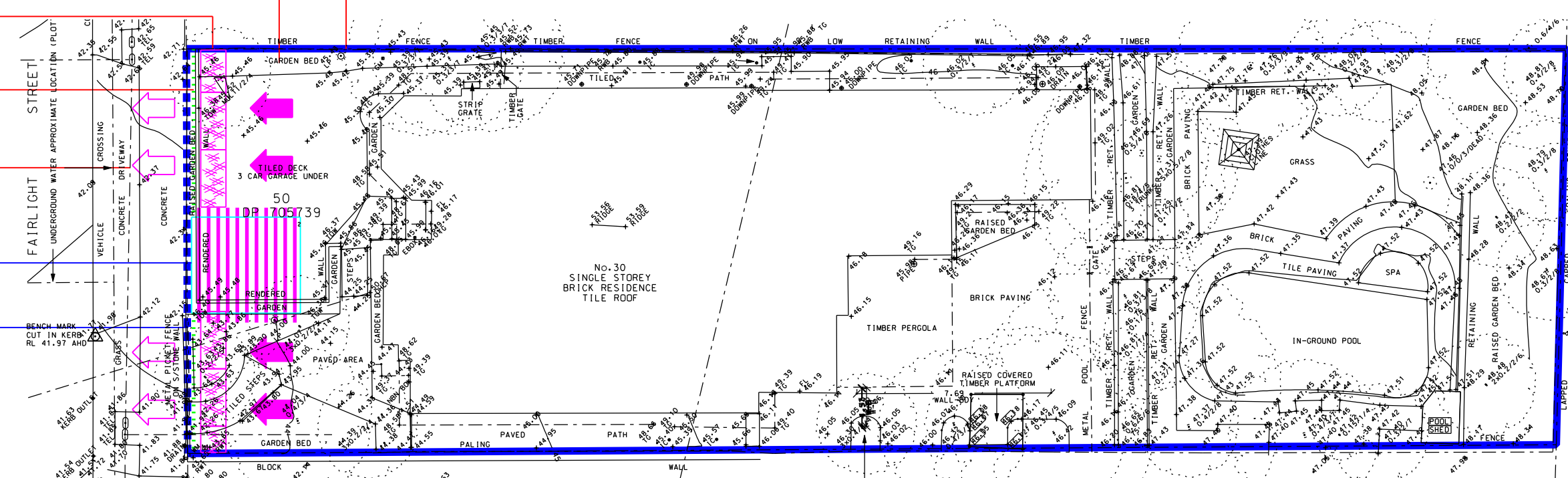
TYPICAL NOTE: HAY BALE BARRIER (REFER TO DETAIL 1)

TYPICAL NOTE: SILT FENCE (REFER TO DETAIL 2)

TYPICAL NOTE: OVERLAND FLOW 'WITHOUT' SEDIMENTS

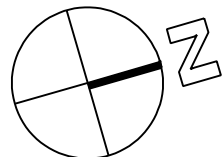
VEHICULAR SITE ENTRY COMPLETE WITH CATTLE GRID AND HOSE TAP

CHAINWIRE MESH FENCE COMPLETE WITH ACCESS GATE(S) AS REQUIRED



SEDIMENTATION CONTROL DURING CONSTRUCTION

APPROVAL



| REV | DESCRIPTION        | DATE     |
|-----|--------------------|----------|
| C   | RE - ISSUED FOR DA | 04.07.22 |
| B   | RE - ISSUED FOR DA | 14.10.21 |
| A   | ISSUED FOR DA      | 22.09.21 |

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email: markus@itmdesign.com.au

PROJECT  
30 FAIRLIGHT STREET  
FAIRLIGHT NSW 2094

DRAWING TITLE  
LEGEND, CATCHMENT CALCS. AND SED. CONTROL

SCALE  
1:200 @ A1 / 1:400 @ A3

JOB No  
20/306

DISCIPLINE  
HYD

DRAWING No  
H-DA-00

REVISION  
C

0 10 20 30 40 50 60 70 80 90 100 110 120 130 140 150

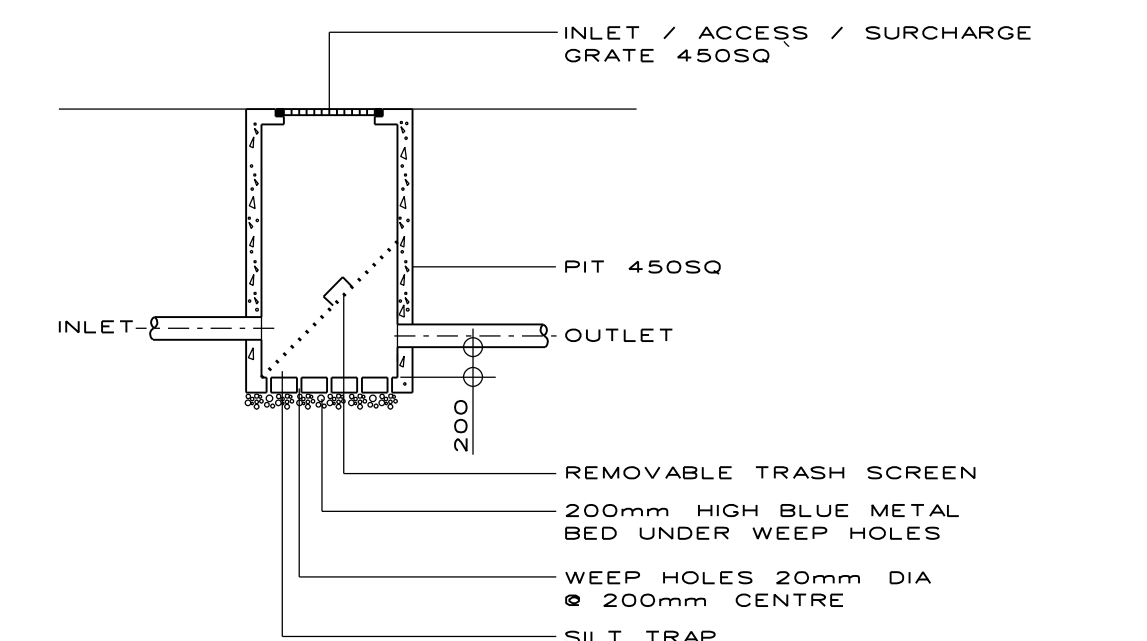
DRAWING



- NOT FOR CONSTRUCTION
- FINAL LOCATION OF ALL DOWNPIPES, PITS, RAINWATER OUTLETS AND SUBSOIL PIPES TO BE CONFIRMED DURING CONSTRUCTION

CERTIFICATE STAGE OF THE PROPOSED DEVELOPMENT

NOTES  
FOR GENERAL NOTES AND LEGEND  
REFER TO DRAWING H - DA - 00

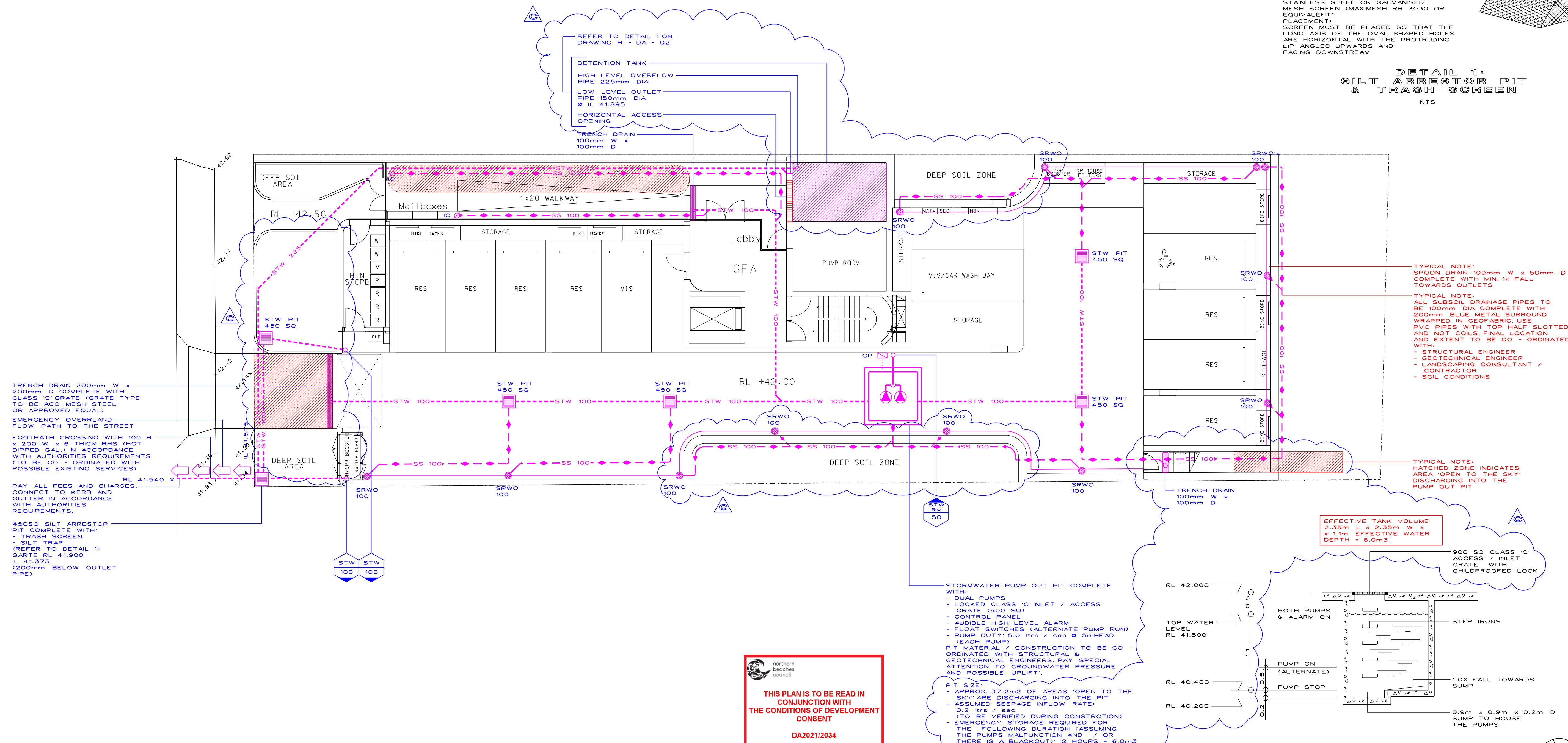


HANDLE

OUTLET BEHIND \_\_\_\_\_

TRASH SCREEN TO PROTECT THE OUTLET  
& DOWNSTREAM DRAINAGE SYSTEM  
MATERIAL:  
STAINLESS STEEL OR GALVANISED  
MESH SCREEN (MAXIMESH RH 3030 OR  
EQUIVALENT)  
PLACEMENT:  
SCREEN MUST BE PLACED SO THAT THE  
LONG AXIS OF THE OVAL SHAPED HOLES  
IS HORIZONTAL WITH THE PROTRUDING  
LIP ANGLED UPWARDS AND  
FACING DOWNSTREAM

DETAIL 1:  
SILT ARRESTOR PIT  
& TRASH SCREEN  
NTS

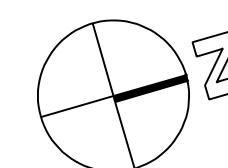


**northern  
beaches  
council**

**THIS PLAN IS TO BE READ IN  
CONJUNCTION WITH  
THE CONDITIONS OF DEVELOPMENT  
CONSENT**

**DA2021/2034**

## APPROVAL



|     |                    |          |
|-----|--------------------|----------|
|     |                    |          |
|     |                    |          |
|     |                    |          |
|     |                    |          |
| C   | RE - ISSUED FOR DA | 04.07.22 |
| B   | RE - ISSUED FOR DA | 14.10.21 |
| A   | ISSUED FOR DA      | 22.09.21 |
| REV | DESCRIPTION        | DATE     |

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PROJECT  
30 FAIRLIGHT  
STREET  
  
FAIRLIGHT  
NSW 2094

DRAWING TITLE

BASEMENT  
STORMWATER  
DRAINAGE

|   |  |  |
|---|--|--|
| SCALE<br><div style="border: 1px solid black; padding: 2px; display: inline-block;">1:100 @ A1 / 1:200 @ A3</div> | JOB No<br><div style="border: 1px solid black; padding: 2px; display: inline-block;">20 / 306</div>    |  |
| DISCIPLINE<br><div style="border: 1px solid black; padding: 2px; display: inline-block;">HYD</div>                | DRAWING No<br><div style="border: 1px solid black; padding: 2px; display: inline-block;">H-DA-01</div> | REVISION<br><div style="border: 1px solid black; padding: 2px; display: inline-block;">C</div> |

0 10 20 30 40 50 60 70 80 90 100 110 120 130 140 150

STW DAWBZG



- NOT FOR CONSTRUCTION
- FINAL LOCATION OF ALL DOWNPIPES, PITS, RAINWATER OUTLETS AND SUBSOIL PIPES TO BE CONFIRMED DURING CONSTRUCTION CERTIFICATE STAGE OF THE PROPOSED DEVELOPMENT

ALL LANDSCAPED AREAS LOCATED ABOVE CONCRETE SLABS  
TO BE EQUIPPED WITH WATERPROOFING MEMBRANE,  
DRAINAGE CELL AND GEOFABRIC

ALL ACCORDANCE WITH NORTHERN BEACHES  
STORMWATER REQUIREMENTS

ACCORDING TO DESIGN GRAPHS (APPENDIX 14):

DETENTION REQUIRED = 32.0m3

PSD = 25.0 ltrs/sec

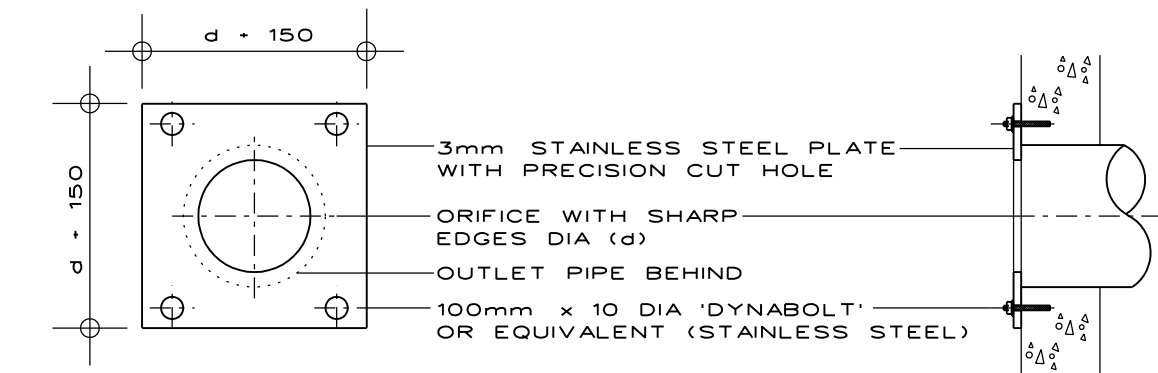
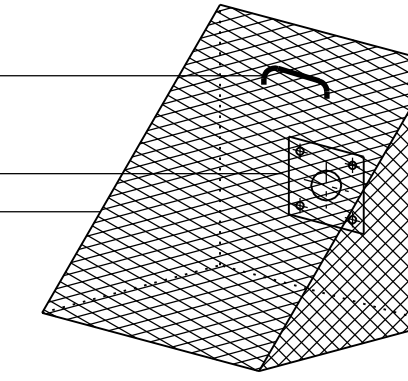
MAX. PERMISSIBLE DISCHARGE TO KERB AND GUTTER

| ITEM | DESCRIPTION   |                    |
|------|---|--------------------|
| A    | TANK AREA   | 12.8m <sup>2</sup> |
| B    | AVERAGE EFFECTIVE WATER DEPTH                         | 2.5m               |
| C    | EFFECTIVE TANK VOLUME (12.8m <sup>2</sup> x 2.5m)     | 32.0m <sup>3</sup> |
| D    | NOT USED  |                    |
| E    | LOUVERED HORIZONTAL ACCESS OPENING (LOCKED)           | 0.6m H x 2.0m W    |
| F    | MAX. WATER LEVEL ABOVE $\frac{1}{2}$ OF ORIFICE PLATE | 2.53m              |
| G    | OUTLET PIPE   | 150mm DIA          |
| H    | TRASH SCREEN  | REFER TO DETAIL    |
| I    | ORIFICE PLATE   | REFER TO DETAIL    |
| J    | SILT TRAP   | 1.0m SQUARE        |
| K    | WEEP HOLES 20mm DIA                                   | ● 200mm CENTRE     |
| L    | BLUE METAL BED (WRAPPED IN GEOFABRIC)                 | 200mm HIGH         |
| M    | INLET PIPE  | REFER TO PLAN      |
| N    | STEP IRONS  |                    |
| O    | FREEBOARD   | 0.3m               |
| P    | EMERGENCY OVERFLOW PIPE                               | 225mm DIA          |
| Q    | DISCHARGE PIPE TO COUNCIL'S DRAINAGE SYSTEM           | 225mm DIA          |



ORIFICE PLATE BEHIND

TRASH SCREEN TO PROTECT THE ORIFICE  
& DOWNSTREAM DRAINAGE SYSTEM  
MATERIAL:  
STAINLESS STEEL OR GALVANISED  
MESH SCREEN (MAXIMESH RH 3030 OR  
EQUIVALENT)  
PLACEMENT:  
SCREEN MUST BE PLACED SO THAT THE  
LONG AXIS OF THE OVAL SHAPED HOLES  
ARE HORIZONTAL WITH THE PROTRUDING  
LIP ANGLED UPWARDS AND  
FACING DOWNSTREAM



### CALCULATION OF ORIFICE SIZE

PSD = PERMISSABLE SITE DISCHARGE IN [m<sup>3</sup>/s]

A = CROSSSECTIONAL AREA OF ORIFICE PLATE IN [m<sup>2</sup>]  
C = DISCHARGE CO-EFFICIENT (0.6 FOR ORIFICE PLATE)

G = ACCELERATION DUE TO GRAVITY = 9.81 [m/s]  
H = MAX HEIGHT / HEAD OF WATER ABOVE THE

H = MAX. HEIGHT / HEAD OF WATER ABOVE THE CENTRE LINE OF THE ORIFICE PLATE IN [m]

D = ORIFICE DIAMETER IN [mm]

|     |       |
|-----|-------|
| PSD | 0.025 |
|-----|-------|

$$A = \frac{PSD}{C \times \sqrt{2 \times G \times H}} = \frac{0.025}{0.6 \times \sqrt{2 \times 9.81 \times 2.53}} = 0.006 \text{ m}^2$$

$$D = \sqrt{\frac{A \times 4}{\pi}} = \sqrt{\frac{0.006 \times 4}{\pi}} \times 1000 \text{ mm/m} = 87 \text{ mm DIA}$$

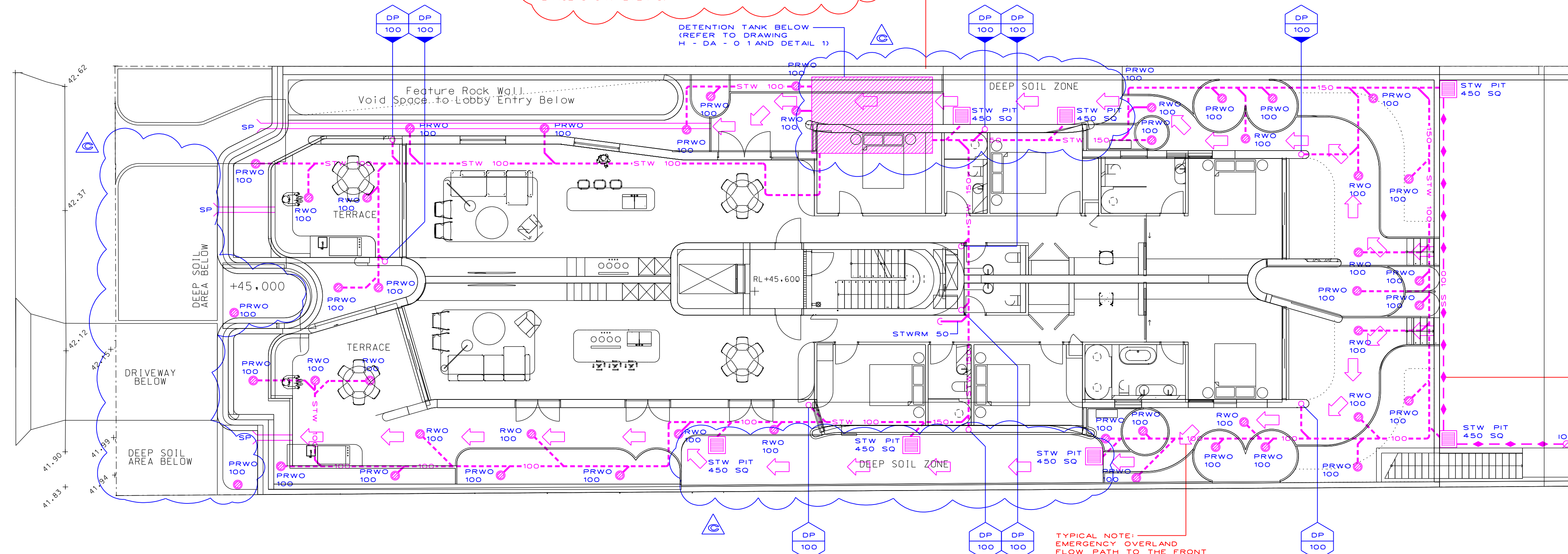
DETAIL 3:

EE F

DETAIL 1:  
DIAGRAMMATIC SECTION  
THROUGH DETENTION TANK

NTS

DETAIL 2:  
REMOVABLE TRASH  
SCREEN

MCR  
NTS

**TYPICAL NOTE:**  
ALL SUBSOIL DRAINAGE PIPES TO BE 100mm DIA COMPLETE WITH 200mm BLUE METAL SURROUND WRAPPED IN GEOFABRIC. USE PVC PIPES W/IG OF HALF SLOTTED AND NOT COILS. FINAL LOCATION AND EXTENT TO BE CO - ORDINATED WITH:

- STRUCTURAL ENGINEER
- GEOTECHNICAL ENGINEER
- LANDSCAPING CONSULTANT / CONTRACTOR
- SOIL CONDITIONS

TYPICAL NOTE: \_\_\_\_\_  
EMERGENCY OVERLAND  
FLOW PATH TO THE FRONT

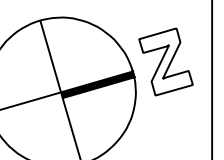
— TYPICAL NOTE:  
FROM ROOF ABOVE. FINAL  
LOCATION AND EXTENT  
TO BE CONFIRMED DURING  
THE CC STAGE.



**THIS PLAN IS TO BE READ IN  
CONJUNCTION WITH  
THE CONDITIONS OF DEVELOPMENT  
CONSENT**

DA2021/2034

APPROVAL



|     |                    |          |
|-----|--------------------|----------|
|     |                    |          |
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|     |                    |          |
|     |                    |          |
| D   | RE - ISSUED FOR DA | 06.09.22 |
| C   | RE - ISSUED FOR DA | 04.07.22 |
| B   | RE - ISSUED FOR DA | 14.10.21 |
| A   | ISSUED FOR DA      | 22.09.21 |
| REV | DESCRIPTION        | DATE     |

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PROJECT  
30 FAIRLIGHT  
STREET

FAIRLIGHT  
NSW 2094

DRAWING TITLE

GROUND FLOOR  
STORMWATER  
DRAINAGE

SCALE 1:100 @ A1 / 1:200 @ A3 JOB No 20/308

|            |            |          |
|------------|------------|----------|
| DISCIPLINE | DRAWING No | REVISION |
| HYD        | H-PA-02    | P        |

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STW DADRZG